

PLANNING AND LICENSING COMMITTEE

18th March 2025

**1. 24/0653/FH The Log Cabin, Dungeness Road, Dungeness, Romney Marsh
(Pages 19 - 68)**

A replacement dwelling with retention and restoration of existing railway carriages.

**Dee Miller, local resident, to speak against the application
Guy Hollaway, architect, to speak on the application**

**2. 24/1650/FH Bus Station, Bouverie Square, Folkestone, CT20 1BA
(Pages 69 - 100)**

Change of use of existing Bus Station to outdoor park, including construction of new surfaces, seating areas and hard and soft landscaping.

Fay Meek, local resident, to speak against the application

**3. 21/0553/FH Land opposite 24 Station Road, Hythe CT21 5PW
(Pages 101 -200)**

Outline planning permission for the erection of 40 no. dwellings with associated access, parking and open space (matters of landscaping reserved for future consideration).

**Emma Bussey, local resident, to speak against the application
Guy Hollaway, architect, to speak on the application**

**4. 24/1769/FH 5-6 Shakespeare Terrace, Folkestone, CT20 2DX
(Pages 201 -214)**

Change of use from hotel to a to sui generis house in multiple occupation (HMO) with 17 rooms for up to 19 persons.

**Philip Carter, local resident, to speak against the application
Cllr McShane, ward member, to speak on application
Peter Le Feuvre, applicant, to speak on application**

**5. 24/1315/FH 41 The Parade, Greatstone, New Romney, TN28 8SU
(Pages 215-242)**

Proposed outbuilding housing a swimming pool, gym, sauna and lounge and alterations to the rear elevation of the dwelling to include conversion of existing hipped roof projection to a gable and new flue.

**Elizabeth Kershaw, local resident, to speak against the application
Cllr Wimble, ward member, to speak on application
Ian Upton, agent, to speak on application**

**6. 25/0002/FH 111 Canterbury Road, Hawkinge, Folkestone, CT18 7BS
(Pages 243-256)**

Full planning permission for the retention of the existing building formally used as a children's centre and a change of use, to use class E (commercial, business and service)

Supplementary Information

**1. 24/0653/FH The Log Cabin, Dungeness Road, Dungeness, Romney Marsh
(Pages 19 - 68)**

One further comment received in support of the application from a resident who has previously expressed support of the application. The main points are:

- The proposal has been designed to a high-quality which respects the unique character of the area by expressing the historic railway carriage and through the use of laser cut Corten steel.
- The mesh like patterns of the cladding reflect both the graphics of the applicant, but also the natural features of Dungeness.
- The impact will be modern but in keeping, providing a high-quality dwelling replacing an existing poor-quality building which is poorly detailed.

**2. 24/1650/FH Bus Station, Bouverie Square, Folkestone, CT20 1BA
(Pages 69 - 100)**

One further representation in objection to the proposal has been received. The representation does not raise any new matters that have not been included in the main report.

Recommended condition 9 has been amended to secure the location of CCTV. The revised condition is as follows:

9. Notwithstanding the submitted details and prior to first opening of the development to the public, an external lighting and CCTV plan shall be submitted to and approved in writing by the Local Planning Authority. The plan shall include details of the external lighting and CCTV proposed together with details of tree planting proposals (including future growth of trees), and an Isolux diagram to demonstrate predicted illuminance levels across the proposed park, taking into account the location of proposed trees. The CCTV details shall include a plan to demonstrate the siting of CCTV and levels of surveillance across the park, taking into account the location of proposed trees. The CCTV and lighting shall be installed in accordance with the approved details prior to first public use of the park, and maintained thereafter.

Reason: To ensure that CCTV and lighting proposals take into account any shadowing or obstruction by trees, to provide a safe environment.

**3. 21/0553/FH Land opposite 24 Station Road, Hythe CT21 5PW
(Pages 101 -200)**

Neighbour representations:

1 additional letter of objection received from a local resident raising the following issues:

- Privacy/noise concerns in relation to Bridge Cottage.
- Concerns related to flood risk to Bridge Cottage.

3rd Party ATC Survey (Automatic Traffic Counters) - Citisense (08/02/2025 – 14/02/2025)

Further information has been submitted providing the data in respect of the ATC Traffic Survey commissioned by residents. The full data is available to view on the planning register.

In summary the report shows that average speeds are below the 30mph speed limit at 27.6mph (eastbound) and 24.4mph (westbound). In the worst case 85th percentile vehicle speed scenario, it shows vehicle speeds as 1.2mph over the speed limit along Station Road in an easterly (uphill) direction which is under the enforcement threshold of 35mph.

Station Road (30mph speed limit)							
Direction	Number of Vehicles	Average speed over 7 days	85 percentile speeds	Percentage of vehicles complying with the 30mph speed limit	Percentage of vehicles under enforcement threshold of 35mph	Percentage of vehicles complying with a proposed signed only 30mph speed limit	Percentage of vehicles complying with a proposed signed only 30mph speed limit
E1	18171	27.6mph	31.2mph	75.8% (13779)	97.5% (17719)	75.8% (13779)	75.8% (13779)
W0	16150	24.4mph	27.6mph	95.8% (15464)	99.6% (16091)	95.8% (15464)	95.8% (15464)

Additional ATC Survey (Automatic Traffic Counters) – Stantec (24 February – 6th March)

The applicant has carried out a further ATC speed survey. The full data is available to view on the planning register. This survey was undertaken to the east and west of the proposed site access near the terminus points of each splay.

In summary the data from these surveys demonstrates that the 85th percentile speed is below the 30mph limit with average speeds eastbound of 26.8mph and 23.3mph westbound.

Station Road ATC Speed Summary, Site 1 (West of Proposed Site Access)

Average		Average Speeds		85th %ile	
Day	Date	Eastbound	Westbound	Eastbound	Westbound
Mon	24-Feb-25	26.0	23.6	28.4	25.8
Tue	25-Feb-25	25.9	23.7	28.4	25.9
Wed	26-Feb-25	25.8	23.8	28.1	25.9
Thu	27-Feb-25	26.0	23.6	28.4	25.7
Fri	28-Feb-25	26.0	24.1	28.4	26.4
Mon	3-Mar-25	27.6	22.3	30.0	24.3
Tue	4-Mar-25	27.7	22.5	30.2	24.4
Wed	5-Mar-25	27.6	22.5	30.2	24.5
Thu	6-Mar-25	28.6	23.8	31.2	25.3
Average		26.8	23.3	29.3	25.4

Station Road ATC Speed Summary, Site 2 (East of Proposed Site Access)

Average		Average Speeds		85th %ile	
Day	Eastbound	Eastbound	Westbound	Eastbound	Westbound
Mon	24-Feb-25	23.6	21.8	26.6	24.3
Tue	25-Feb-25	23.7	22.0	27.0	24.5
Wed	26-Feb-25	23.7	21.9	26.8	24.4
Thu	27-Feb-25	23.7	21.5	26.8	24.2
Fri	28-Feb-25	23.9	21.7	27.1	24.3
Mon	3-Mar-25	24.0	22.2	27.2	24.7
Tue	4-Mar-25	23.9	22.2	27.1	24.7
Wed	5-Mar-25	24.1	22.1	27.4	24.6
Thu	6-Mar-25	24.1	21.3	27.2	23.9
Average		23.9	21.9	27.0	24.4

Daylight/Sunlight Scoping Assessment (Herrington 4th March 2025)

In addition, the applicant has submitted a Daylight and Sunlight Scoping Assessment. This document is appended to this update report. In summary, the assessment concludes that the proposed development does not have the potential to impact the daylight availability to the neighbouring property at Holly bank, as the proposed massing does not infringe the 25-degree obstruction angle from the centre point of the neighbouring windows.

**6. 25/0002/FH 111 Canterbury Road, Hawkinge, Folkestone, CT18 7BS
(Pages 243-256)**

Consultee comment:

KCC Heritage Conservation: The site lies within an area of multi-period archaeological potential. However, based on existing Historic Environment Record data for the area and the relatively limited extent of the proposed works, I consider it unlikely that these proposals would have a significant below-ground archaeological impact and have no further comments to make in this case.

Date: 4th March 2025
Your Ref:
Our Ref : 4259_NAV_01
Email: nuria@herringtonconsulting.co.uk

Paul Kingston
Kingston Homes
By Email: [REDACTED]

Dear Paul,

Daylight and Sunlight Scoping Assessment: Land Adjacent to Station Road, Hythe, CT21 5UQ

Herrington Consulting has been commissioned by Kingston Homes to assess the potential impact of the proposed apartments in relation to daylight and sunlight on the neighbouring property Hollybank.

In the absence of official national planning guidance / legislation on daylight and sunlight, the most recognised guidance document is published by the Building Research Establishment and entitled '*Site Layout Planning for Daylight and Sunlight – A Guide to Good Practice*', *Third Edition, 2022*; herein referred to as the '*BRE Guidelines*'. The BRE Guidelines are not mandatory and themselves state that they should not be used as an instrument of planning policy, however in practice they are heavily relied upon as they provide a good guide to approach, methodology and evaluation of daylight and sunlight impacts.

The BRE Guidelines are intended for use for rooms and adjoining dwellings where daylight is required, including living rooms, kitchens and bedrooms. Windows to bathrooms, toilets, storerooms circulation areas and garages are not deemed as requiring daylight and therefore are not identified as sensitive receptors.

The first step in this process is to determine the key sensitive receptors, i.e. which windows may be affected by the proposed development. Key receptors are those windows that face or are located broadly perpendicular to the proposed development.

If a window falls into this category, the second step is to measure the obstruction angle. This is the angle at the level of the centre of the lowest window between the horizontal plane and the line joining the highest point of nearest obstruction formed from any part of the proposed development. If this angle is less than 25° then it is unlikely to have a substantial effect on the diffuse daylight enjoyed by the existing window and the window is not deemed to be a sensitive receptor. A graphical representation of the 25° rule is illustrated in Figure 1.

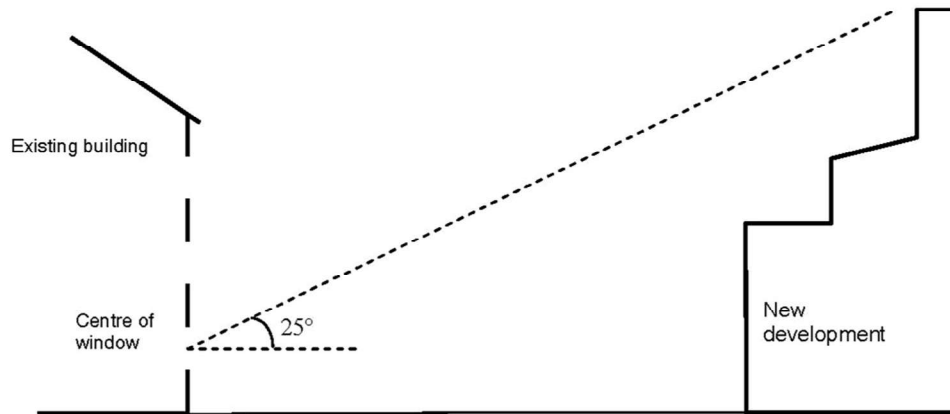


Figure 1 – Graphical representation of the 25° Rule (indicative buildings used for illustration purposes only)

As part of this assessment, the neighbouring property at [REDACTED] has been assessed as a sensitive receptor due to having perpendicular windows directly facing the development site. To undertake this, a digital three-dimensional model of the study area has been created for the ‘post’ development scenario. The 3D model of the neighbouring property has been built from topographic survey information (JC White Geomatics – February 2024) and informed by a photograph and planning information containing floorplans for [REDACTED] provided by Kingston Homes on 24th February 2025. Floor plans, elevations and sections of the proposed development have been provided by Hollaway Studio (February 2025) for the potential impact on the neighbouring building to be assessed.

Using the 3D model, it is possible to identify all windows having an obstruction angle no greater than 25°. In this case, three windows have been identified as facing the proposed development site at [REDACTED] and utilising the proposed floorplans, two of these are understood to serve habitable rooms. The utilised floorplan is shown in Figure 2

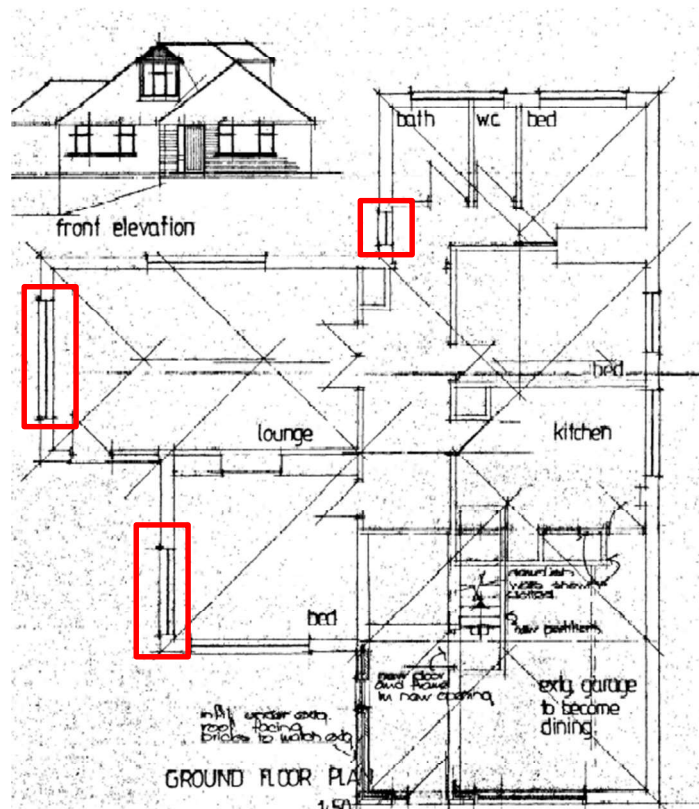


Figure 2 – Ground Floor Plan of Hollybank with identified windows in red.

Figure 3 and Figure 4 show a 25-degree angle from the centre point of the windows at [REDACTED] that are perpendicular to the proposed development. From these images, it can be seen that the proposed development will not cause an obstruction above 25° from any of these windows and therefore, there will be no notable reduction in diffuse daylight caused by the proposed development to these windows. It should be noted that the 25-degree test has been undertaken solely for the ground floor rooms as a worst-case scenario and if compliant is it understood and inferred that there will be no notable reduction in daylight to the upper floors of the property.

Impacts to these windows are therefore deemed to be negligible in line with the criteria set out within the BRE Guidelines. It should also be noted that from inspection of the floorplan outlined in Figure 2, that these windows serve rooms with additional window openings that do not directly face the development proposals.

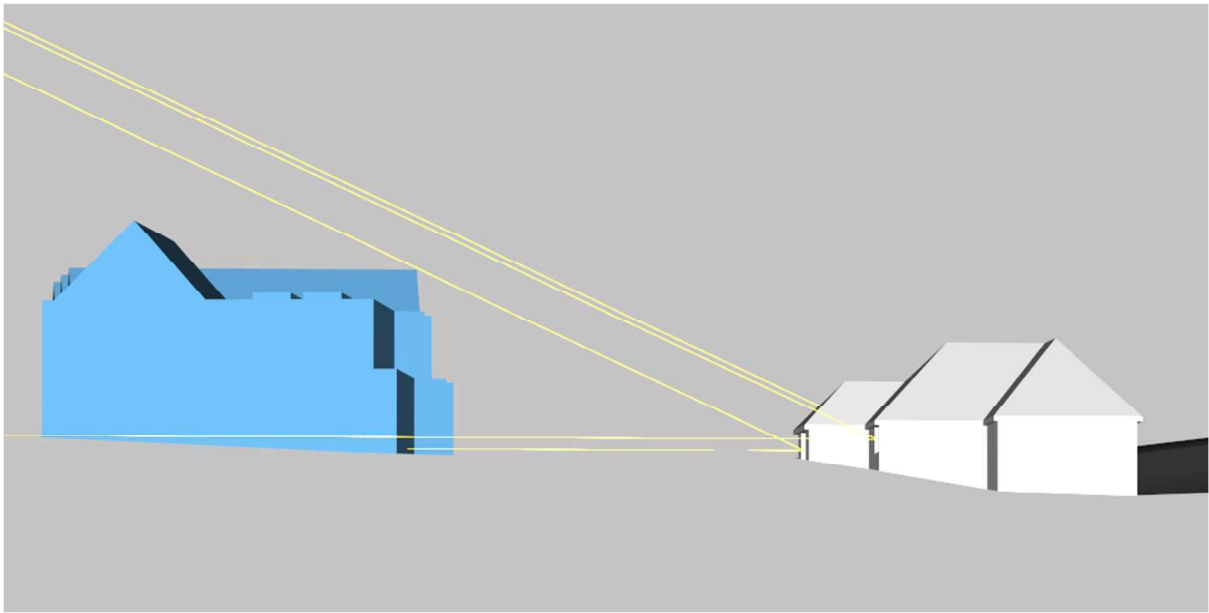


Figure 3- View Looking North – Side Profile View of 25-Degree Angle

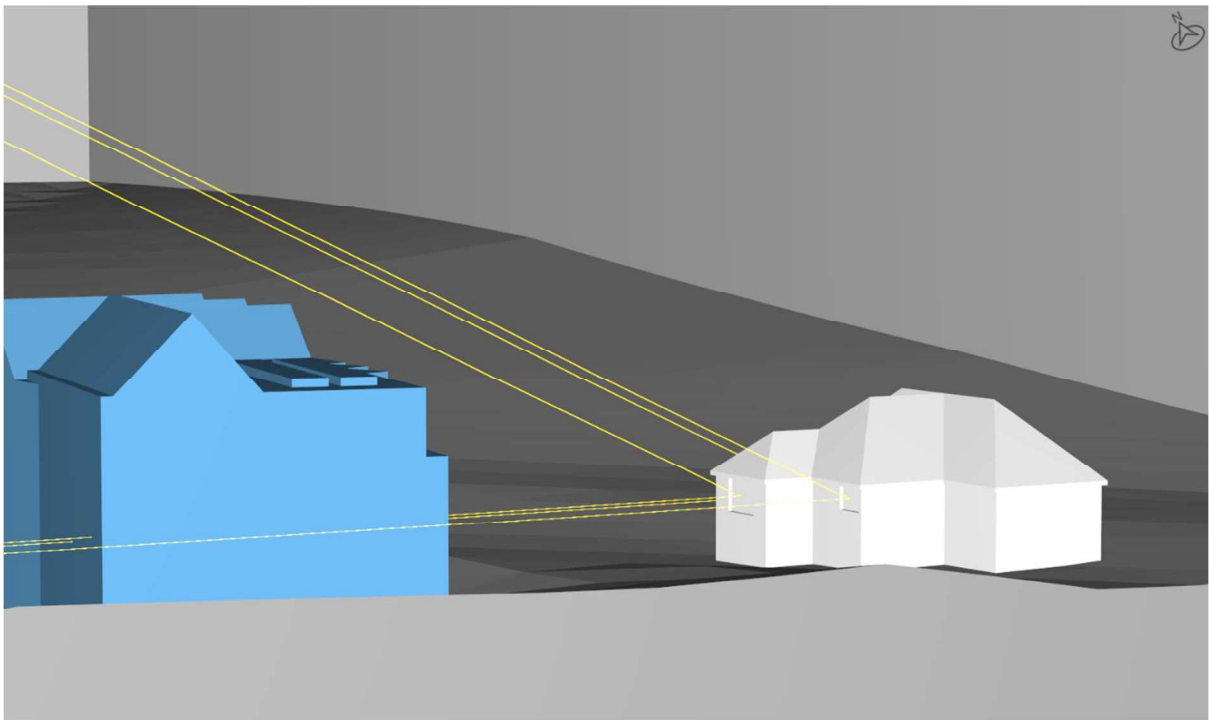


Figure 4 – View Looking Northeast. 25-Degree Angle from [REDACTED]

As the proposed development does not obstruct the 25° line from the neighbouring windows at [REDACTED] the more detailed BRE Daylight and Sunlight tests are not required.

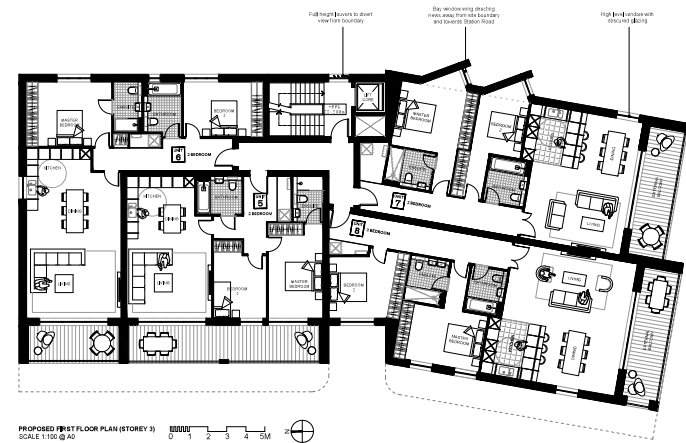
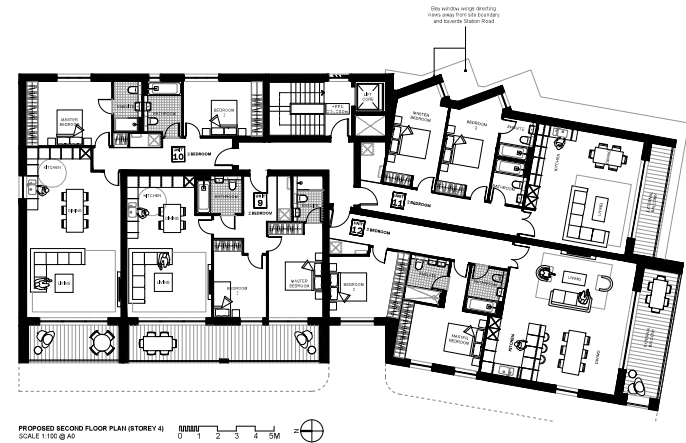
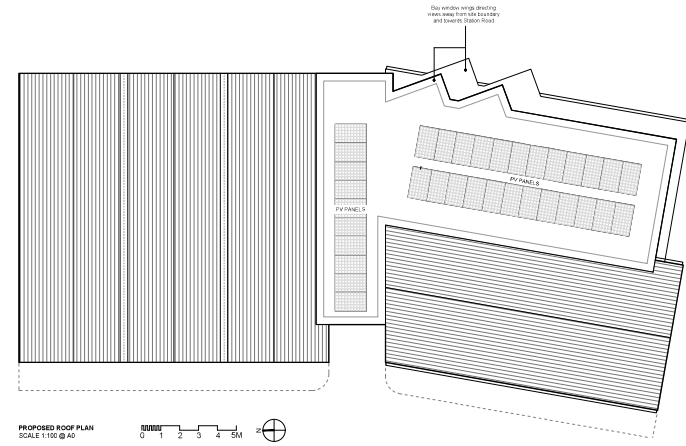
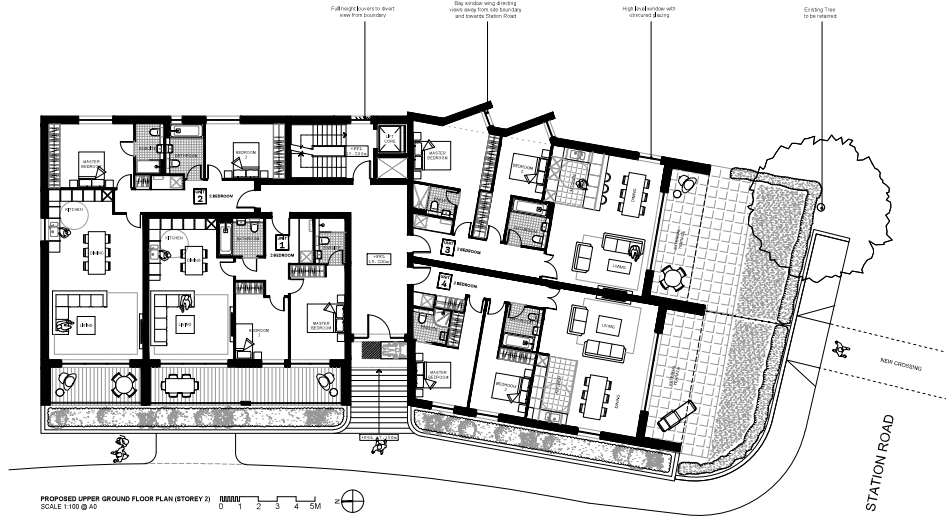
In summary, the proposed development does not have the potential to impact the daylight availability to the neighbouring property at [REDACTED] as the proposed massing does not infringe the 25-degree obstruction angle from the centre point of the neighbouring windows.

Yours faithfully,

Nuria Auamtell Venegas BSc (Hons)
Light Analyst

On behalf of Herrington Consulting Ltd.

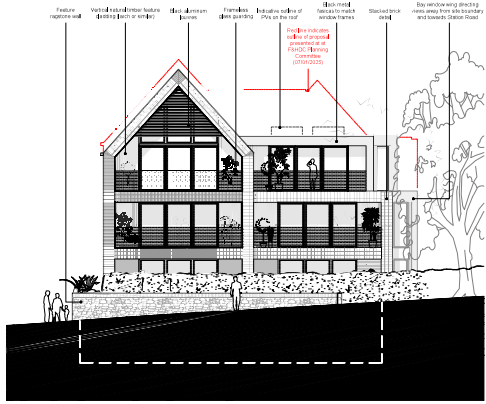
Enclosed documents: Proposed Scheme Drawings



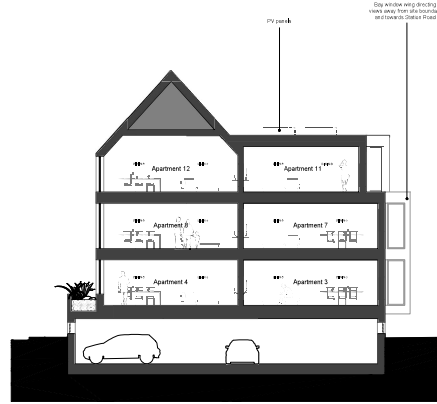
Hollaway

Project: 23.0125 06
Client: [REDACTED]
Title: APPOINTMENTS PROPOSED FLOOR PLANS
Discipline: PLANNING

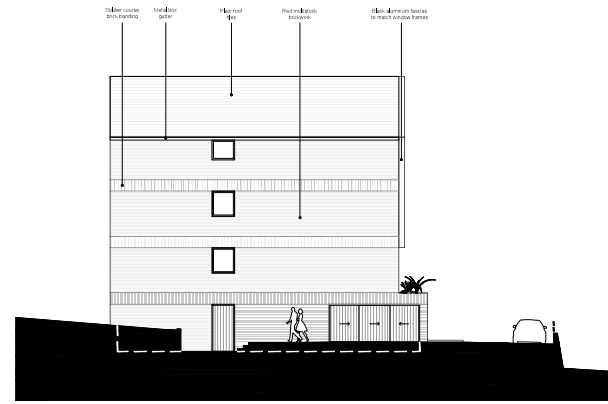
23.0125 06
A



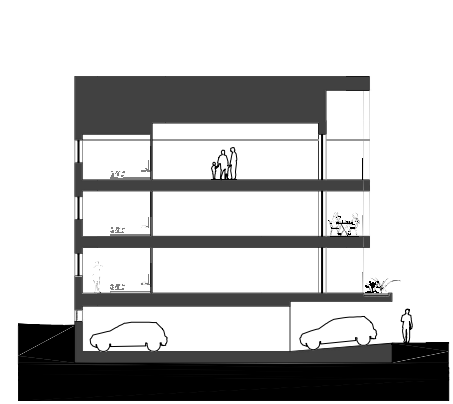
PROPOSED SOUTH ELEVATION AA
SCALE 1:100 @ A0



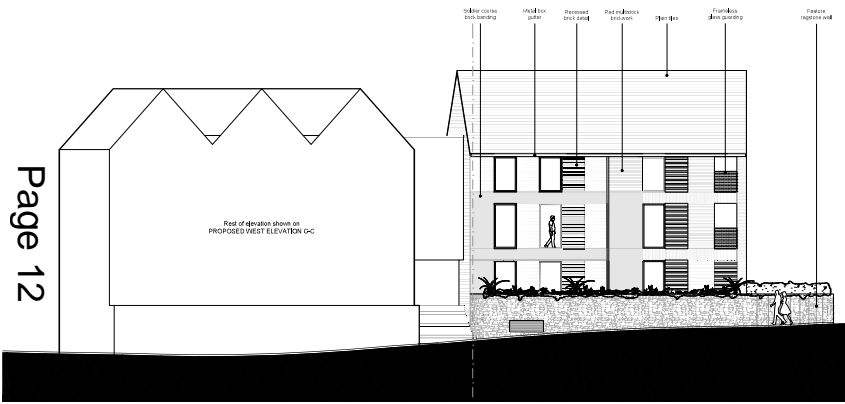
PROPOSED SECTION 1A
SCALE 1:100 @ A0



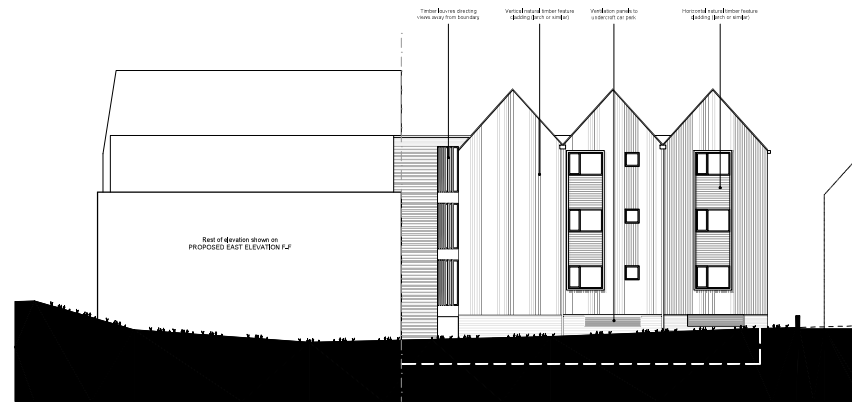
PROPOSED NORTH ELEVATION DD
SCALE 1:100 @ A0



PROPOSED SECTION 2A
SCALE 1:100 @ A0



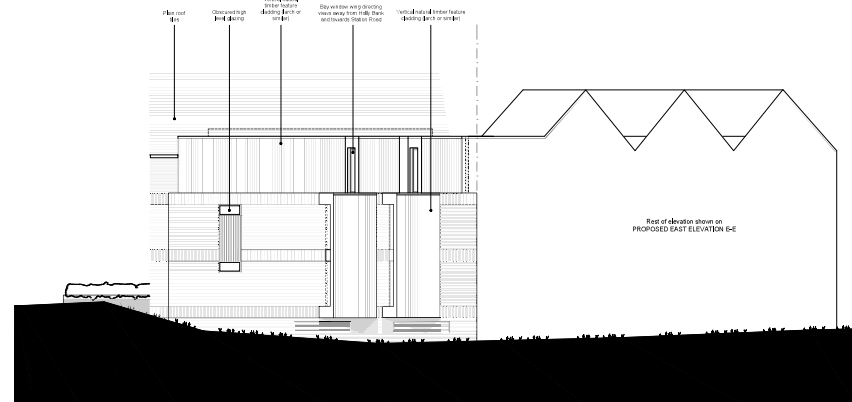
PROPOSED WEST ELEVATION BB
SCALE 1:100 @ A0



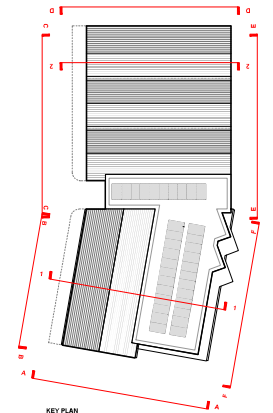
PROPOSED EAST ELEVATION EE
SCALE 1:100 @ A0



PROPOSED WEST ELEVATION CC
SCALE 1:100 @ A0



PROPOSED EAST ELEVATION FF
SCALE 1:100 @ A0



KEY PLAN
NOT TO SCALE

Page 12