



## SUPPORTING PLANNING STATEMENT

Celui, Broadview, Folkestone, CT20 3ES

May 2025

# SUPPORTING PLANNING STATEMENT

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In support of a household application for the  
**Erection of a combined rear extension and replacement garage**

*At*

**'Celui'**

**1 Broadview**

**Folkestone**

**CT20 3ES**

*On behalf of*

**Mrs J Burvill**

	INITIALS	DATE
DRAFTED BY	OS	12/05/2025
REVIEWED BY	DD	13/05/2025

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## 1. Introduction

- 1.1. Bloomfields Chartered Town Planners have been commissioned by Mrs Jacqueline Burvill to prepare a householder planning application for the erection of a combined rear extension and replacement garage at 'Celui', 1 Broadview, Folkestone, CT20 3ES.
- 1.2. The applicants have recently purchased the property, and they now wish to extend and make alterations to it, so that it will meet their own individual needs. The proposals aim to provide a replacement kitchen and a wet room, which have been designed specifically to meet the mobility issues of one of the applicants. In addition to this, the existing garage requires replacement as it is beyond its reasonable lifespan [REDACTED]  
[REDACTED]
- 1.3. This statement has been drafted to demonstrate that the proposed scheme is consistent with the objectives of the Adopted Development Plan of the Folkestone and Hythe District Council and that there would be no adverse impacts which would significantly and demonstrably outweigh the benefits in accordance with the National Planning Policy (NPPF) (2024).
- 1.4. This application submission is accompanied by the following submitted plans:
  - 3552.010 Site plan and block plan
  - 3552.030 Proposed Block Plan
  - 3552.040 Existing Floorplans Elevations
  - 3552.110 Proposed Floorplans Elevations

## 2. The site

- 2.1. Celui is located within the urban settlement of Folkestone on the east side of Broadview. Broadview is a residential cul-de-sac characterised by single storey bungalow properties, located in Cheriton, west Folkestone.

- 2.2. The application site, herein after referred to as ‘the site’, and shown in Figure 1, has a curtilage area of 0.038 hectares, and comprises of the residential dwelling, ‘Celui’ 1 Broadview. The property benefits from direct access to Broadview and has in-line curtilage parking which accesses the street directly.
- 2.3. Celui is a semi-detached bungalow featuring a traditional mid-20th-century design with red brick elevations and a cross-hipped roof with a modest rear garden and side garage. Under Planning Permission Ref. Y05/1008/SH, an extension was added to the rear of the property, adjacent to the southern boundary of the site.
- 2.4. The site is in a predominantly residential area, the site is bordered by residential properties to the north, east and south. Cheriton Primary School is located to the northeast of the site and a Tesco Superstore is located further to the north, but within walking distance.
- 2.5. The site is approximately 400 metres from the M20 which has direct links to London and Dover. The nearest bus stops are within 100 metres, and Folkestone West railway station is approximately 1.9 kilometres away, providing easy access to surrounding areas.
- 2.6. In accordance with Policy SS1 of the Folkestone and Hythe District Council Core Strategy 2022, the site is located within the Urban Area character area and has no constraints.



Figure 1. Google Earth aerial view image of the site

### 3. Proposal

- 3.1. This householder application is for the erection of a combined rear extension and a replacement garage.
- 3.2. These alterations to the property are required by the occupant who has mobility issues and will enable them to continue to live independently.

### 4. Planning History

- 4.1. The relevant planning history has been considered below:

**Y05/1008/SH** Erection of a single-storey rear extension. Approved with Conditions (16/9/2005)

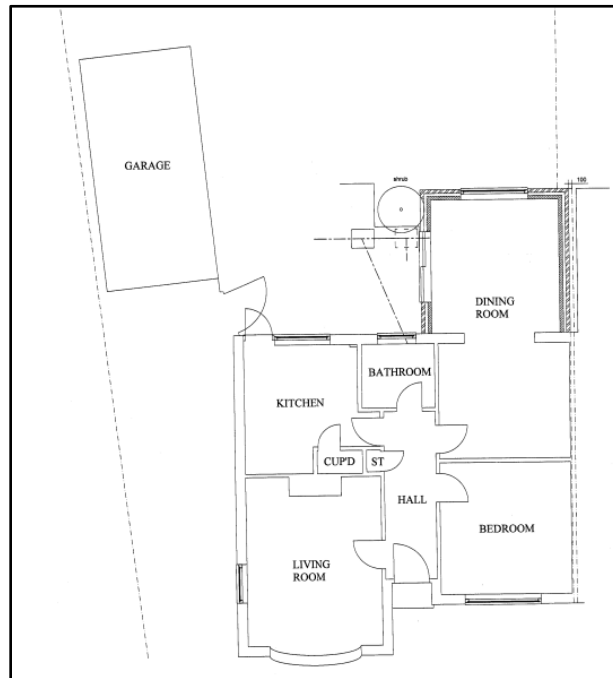


Figure 2. Approved floor plan under Planning Permission Ref. Y05/1008/SH

## 5. Design and Access Statement

### Use

- 5.1. The site is currently used as a residential property with a C3 use class. There is no proposed change to this. The existing garage has previously been used as a workshop/store in relation to the residential occupation of the host dwelling.
- 5.2. This proposal is for the erection of a single-storey rear residential extension and combined replacement garage. The extension will partly form a wet room | [REDACTED] [REDACTED]  
[REDACTED] [REDACTED] [REDACTED]  
[REDACTED]

### Amount and scale

- 5.3. The proposed extension will be single-storey and will have a gross internal area of approximately 15.5 square metres, with an eaves height of 2.8 metres, a length of 3.8 metres and a width of 4.7 metres.
- 5.4. The replacement garage will be enlarged to provide more room for storage and has an area of approximately 29.5 square metres, with an eaves height of 2.8 metres, a length of 10.2 metres and a width of 2.9 metres on its front elevation and 4.4 metres at its rear elevation.

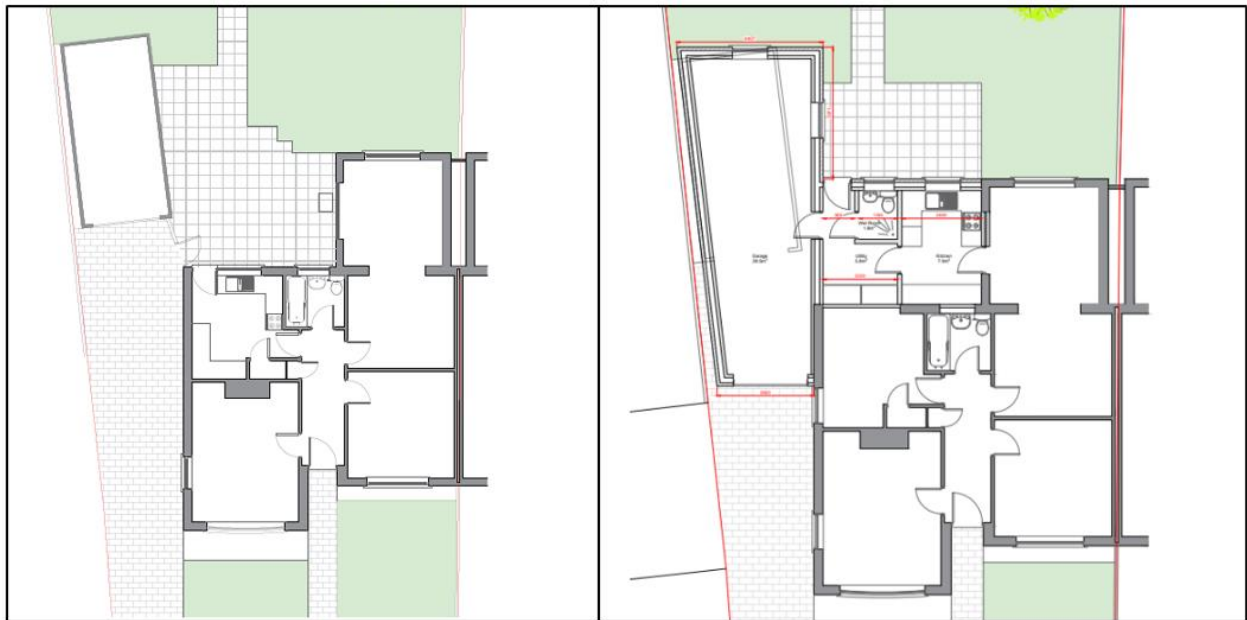


Figure 3. Proposed floor plan

Layout and appearance

- 5.5. The extension will adjoin to the rear of the property, serving as an infill extension between the garage and original rear extension. It will not extend past the existing extension as approved under Planning Permission Ref Y05/1008/SH. The replacement garage will be built adjoining the north elevation of the property, allowing the extension, garage and the existing property to connect seamlessly, whilst making the best use of the space available.
- 5.6. The layout of the extension has been carefully designed to support the needs of the users and will include a kitchen, utility and wet room [REDACTED]  
[REDACTED]
- 5.7. The extension and garage will match the materials of the existing dwelling, including red brick elevations and windows to match those existing. This will allow the extension to appear consistent with the dwelling. The garage will have a roller door on its front elevation, a window on the rear elevation and it will have a flat roof. The extension will also have a flat roof to match the garage and to ensure that it will have a consistent profile.

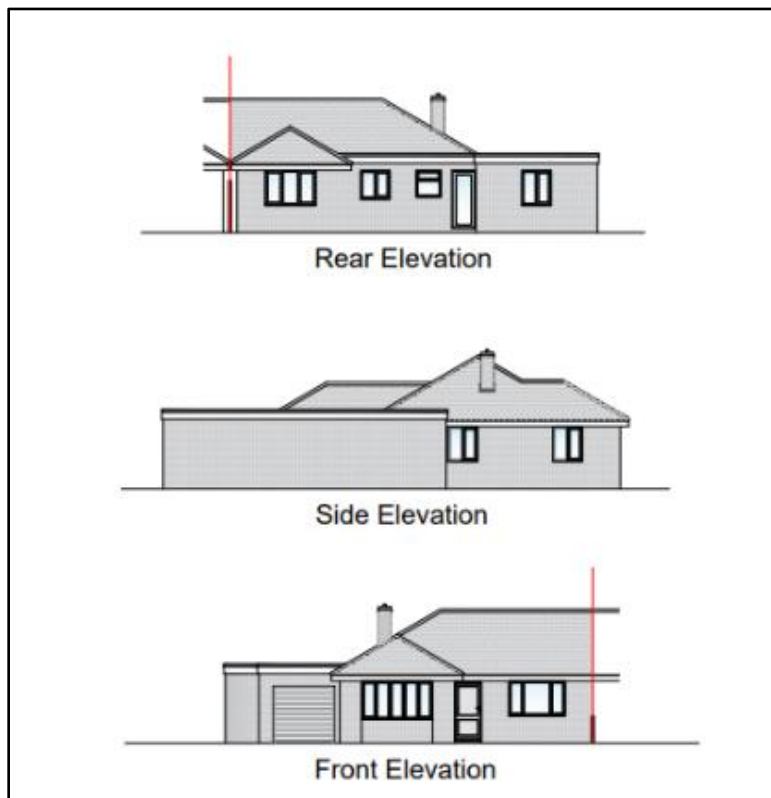


Figure 4. Proposed elevations

### Access

- 5.8. The site benefits from direct access from Broadview. The replacement garage has been designed to maintain sufficient room on the property's driveway for vehicle parking and there will be no loss of parking provision resulting from this extension.
- 5.9. Parking on the site is linear to the road and is accessed directly from the street.

## **6. Planning Policy**

- 6.1. Under Section 38(6) of the Planning and Compulsory Purchase Act 2004, applications for planning permission are required to be determined in accordance with the provisions of the development plan in force unless material considerations indicate otherwise.
- 6.2. The proposed development has been considered in accordance with the Folkestone and Hythe District Council Core Strategy Review (2022), the Folkestone and Hythe District Council Places and Policies Local Plan (2020) as well as the National Planning Policy Framework (December 2024).

### National Planning Policy Framework (2024)

- 6.3. **Paragraphs 7 and 8** of the NPPF outline that the purpose of the planning system is to contribute to the achievement of sustainable development through three overarching objectives:
  - a) An economic objective – help build a strong, responsive and competitive economy, by ensuring that sufficient land of the right types is available in the right places and at the right time to support growth, innovation and improved productivity and by identifying and coordinating the provision of infrastructure,
  - b) A social objective – to support strong and vibrant and healthy communities by ensuring that a sufficient number and range of homes can be provided to meet the needs of the present and future generations and by fostering well designed, beautiful and safe place with accessible services and open spaces that reflect current and future needs and support communities' health, social and cultural wellbeing, and

- c) An environmental objective – to protect and enhance our built and historic environment, including making effective use of and improving biodiversity, using natural resources prudently, minimising waste and pollution and mitigating and adapting to climate change, including moving to a low carbon economy.
- 6.4. **Paragraph 10** states, so that sustainable development is pursued in a positive way, at the heart of the NPPF is a presumption in favour of sustainable development.
- 6.5. **Paragraph 39** provides guidance in relation to decision making and outlines that local planning authorities should approach decisions on proposed development in a positive and creative way, seeking to approve applications for sustainable development where possible.
- 6.6. **Paragraph 116** outlines that development should only be prevented or refused on highway grounds if there would be an unacceptable impact on highway safety or the residual cumulative impacts on the road network following mitigation would be severe, taking into account all reasonable future scenarios.
- 6.7. **Section 12** sets out a guide to creating well designed high quality and sustainable development. **Paragraph 131** in particular states that the creation of high quality, beautiful and sustainable buildings and places is fundamental to what the planning and development process should achieve.
- 6.8. **Paragraph 135** outlines that decisions should ensure developments:
- a) Will function and add to the overall quality of the area, not just for the short term but over the lifetime of the development;
  - b) Are visually attractive as a result of good architecture, layout and appropriate and effective landscaping;
  - c) Are sympathetic to local character and history, including the surrounding built environment and landscape setting while not preventing or discouraging appropriate innovation or change;
  - e) Create places what are safe, inclusive and accessible and which promote health and wellbeing with a high standard of amenity for existing and future users.

- 6.9. **Section 14** states that plans should contribute to the mitigation and adaptation of climate change, taking into account the long-term implications of flood risk. In particular, **paragraph 170** outlines that inappropriate development in areas at risk of flooding should be avoided by directing areas away from areas at highest risk.

Folkestone and Hythe District Council Core Strategy Review 2022

- 6.10. **Policy SS1** sets out that within the district, priority will continue to be given to previously developed land within the Urban Area.
- 6.11. **Policy SS3** states that development will be directed towards existing sustainable settlements. As detailed within Table 4.4, the 'District Settlement Hierarchy', the Sub-Regional Town of Folkestone, which includes Cheriton, is at the top of the settlement hierarchy and is considered the most sustainable location for new development. The policy highlights that development should be of a size and scale proportionate to that of the existing area to preserve the character of the settlement.

Folkestone and Hythe District Council Places and Policies Local Plan 2020

- 6.12. **Policy HB8** requires alterations to reflect the scale, proportions and materials of the original building and not impact the street scene. Extensions should protect the residential amenity of neighbouring properties and avoid unacceptable overlooking and inter-looking. Furthermore, to maintain the visual quality of the street:
- The width of the extension should be less than or equal to half the width of the original frontage of the building;
  - The depth of the extension should be less than or equal to half the depth of the garden;
  - The extension should be of materials that complement those of the existing building.
- 6.13. **Policy HB1** states that development will only be permitted where the development makes a positive contribution to its location and surroundings with regard to layout, scale, proportions and materiality. Development should also not impact upon the amenity of future and existing occupiers and neighbours, taking into account loss of privacy, loss of light and poor outlook.

## 7. Analysis

### Principle of development

- 7.1. The site is located within the Urban Character Area as designated in the Folkestone and Hythe District Core Strategy Review 2022. In accordance with Policy SS1 of the Core Strategy Review, development will be prioritised on previously developed land within the Urban Area. As the site is located within a residential settlement and will comprise of largely an existing residential garage, it is considered that this proposal will be on previously developed land and will therefore comply with Policy SS1.
- 7.2. To meet Policy SS3, development should contribute to an area's role within the settlement hierarchy. The settlement hierarchy, shown in Table 4.4, states that Folkestone is a Sub-Regional Town and has a strategic role, including the need to accommodate residential development.
- 7.3. On this basis, we consider that the location of an extension in this locality, subject to meeting other policy criteria, would be acceptable in principle.

### Design, character and appearance

- 7.4. Policy HB8 of the Places and Policies Local Plan 2020 states that, in order to maintain the street quality, extensions must be less than or equal to half the width of the original building and should have a depth less than or equal to half the depth of the garden. The original building has a width of approximately 9.2 metres and the current depth of the garden measures 16.7 metres.
- 7.5. The depth of the proposed extension measures 3.8 metres, which is substantially less than half of the depth of the garden. Whilst the extension has a width of 4.7 metres, the extension will serve as an infill development to the rear of the property, and it will not be visible from the street scene or located on the side elevation. When this is coupled with the replacement garage, it is considered that the extension would comply with Local Policy HB8.

- 7.6. Policies HB8 and HB1 of the Places and Policies Local Plan require extensions to reflect the scale and materiality of the existing building. Similarly, Paragraph 135 of the NPPF (2024) states that development should add to the quality of the area over the lifetime of the development and should be visually attractive as a result of good architecture and layout.
- 7.7. The extension and garage incorporate materials which are consistent with the existing building, as well as the local townscape. Materials will include red brick elevations, and the extension will have windows to match those existing on the property. The replacement garage will have a garage door on its front elevation with a window on the rear elevation, and a flat roof, which doesn't change the existing street scene elevation.
- 7.8. Positioned to the rear of the dwelling, the infill extension will be minimally visible from the public realm, ensuring that the established streetscape of the area is preserved. In terms of scale, the modest single-storey extension will integrate seamlessly within the existing built form, which is characterised by mainly bungalow properties.

#### Residential amenity

- 7.9. In accordance with Policy HB1 and HB8, development should not impact the amenity of future occupiers and neighbours, considering loss of privacy, loss of light and poor outlook. Similarly, paragraph 135 of the NPPF requires development to promote a high standard of amenity for existing and future users.
- 7.10. Internally, the extension will generate 15.5 square metres more living accommodation, providing a wet room, utility and kitchen, allowing the existing kitchen to be converted into additional living space, enhancing the living quality of the property for the occupants.
- 7.11. Externally, the modest extension will leave sufficient space within the rear garden of the property too enable it to retain its functional use as garden space. The remaining garden will have an area of approximately 163 square metres, largely exceeding requirements.
- 7.12. The proposed single-storey extension to this residential property, situated within an established residential area, has been carefully considered regarding the siting, height, and layout to ensure it does not cause any loss of light, privacy, or outlook to adjacent properties.

- 7.13. The site is bounded to its north elevation with the rear gardens of the properties on Church Road, Cheriton. The garage is located along this northern boundary, and will provide screening between the extension and adjoining properties to the north. There will be no overlooking from neighbouring properties onto the extension as they are considered far enough away that no impact would result.
- 7.14. Furthermore, as the extension will be an infill extension, there will be no impact on the neighbouring semi-detached property, '3 Broadview', as the extension will not extend beyond the existing extension approved in 2005.
- 7.15. In summary, the development will not result in any significant overshadowing or loss of daylight to any adjacent properties. Additionally, there are no windows proposed on the side elevations that would give rise to overlooking or compromising the privacy of neighbouring residents.
- 7.16. As the extension will be used for standard domestic purposes, it will not generate any additional noise beyond what is typical for a residential setting.



*Figure 5. Images of the site in relation to neighbouring properties*

Sustainability

7.17. Paragraph 8 of the NPPF details the three dimensions of sustainable development, to comprise;

***An economic objective***

7.18. The 'Plan for Growth' published by HM Treasury in 2011 details that a successful construction industry, including the construction and maintenance of homes, is crucial for sustainable growth in the UK. The erection of a residential extension development in this location would result in increased investment in local tradesmen and suppliers, primarily during the construction phase of the development, providing demonstrable economic benefits that would assist with the overall objective to support growth.

***A social objective***

7.19. This extension would provide an additional 15.5 square metres of living space and will significantly enhance the living conditions for the residents by providing additional space that can be tailored to the applicants' specific needs. [REDACTED]

[REDACTED]

7.20. The addition of a wet room in their home will provide significant benefits [REDACTED]

[REDACTED]

***An environmental objective***

7.21. As detailed, the extension will be compatible with the existing building and the local townscape, ensuring that the built environment is protected. The proposed residential extension has been carefully designed to remain consistent with the surrounding built form.

- 7.22. It will use materials and finishes that complement the original dwelling and neighbouring properties, the extension will preserve the visual continuity of the streetscape. Its proportions and layout respect the established building lines and roof profile. It is considered the extension will protect the character of the built environment and uphold the distinctive character of the local residential setting.

## 8. Other material considerations

### Permitted Development

- 8.1. The proposed residential extension, if considered independently from the replacement garage, would meet the criteria outlined in Part 1 Class A of the Town and Country Planning (General Permitted Development) (England) Order 2015 (as amended). This PD right permits the enlargement, improvement, or alteration of a dwellinghouse without the need for a full planning application, provided certain conditions and limitations are met.
- 8.2. Specifically, the extension would fall within the 6m threshold of allowed depth from the original rear wall (6 metres for a dwellinghouse outside of article 2(3) land). The extension does not exceed 4 metres in height, and the eaves are no higher than the existing eaves of the property. The proposed extension has a height of 2.8 metres and a depth of 3.8 metres, within the required limits.
- 8.3. The materials used will be of a similar appearance to those of the existing house, and the works do not include any alterations to the roof. The extension also does not project beyond the principal elevation or the side elevation that fronts a highway.
- 8.4. The allowances of Permitted Development, in relationship to the extension being proposed as part of this application, should be a material consideration as part of any future decision.

### Highways and access

- 8.5. Paragraph 116 of the NPPF states that development should only be refused on highway grounds if there would be an unacceptable impact on highway safety or if the residential cumulative impact would be severe. This development will not give rise to an increase in local traffic movements and will not impact highway safety and therefore should not be refused on highway grounds.

8.6. The replacement garage has been designed to ensure that there is no material change to the existing parking arrangements on the site.

Flood risk

8.7. Paragraph 170 outlines that inappropriate development in areas at risk of flooding should be avoided by directing areas away from areas at highest risk. Shown in Figure 6, the site is within Flood Zone 1 and should not be refused on flood risk grounds.

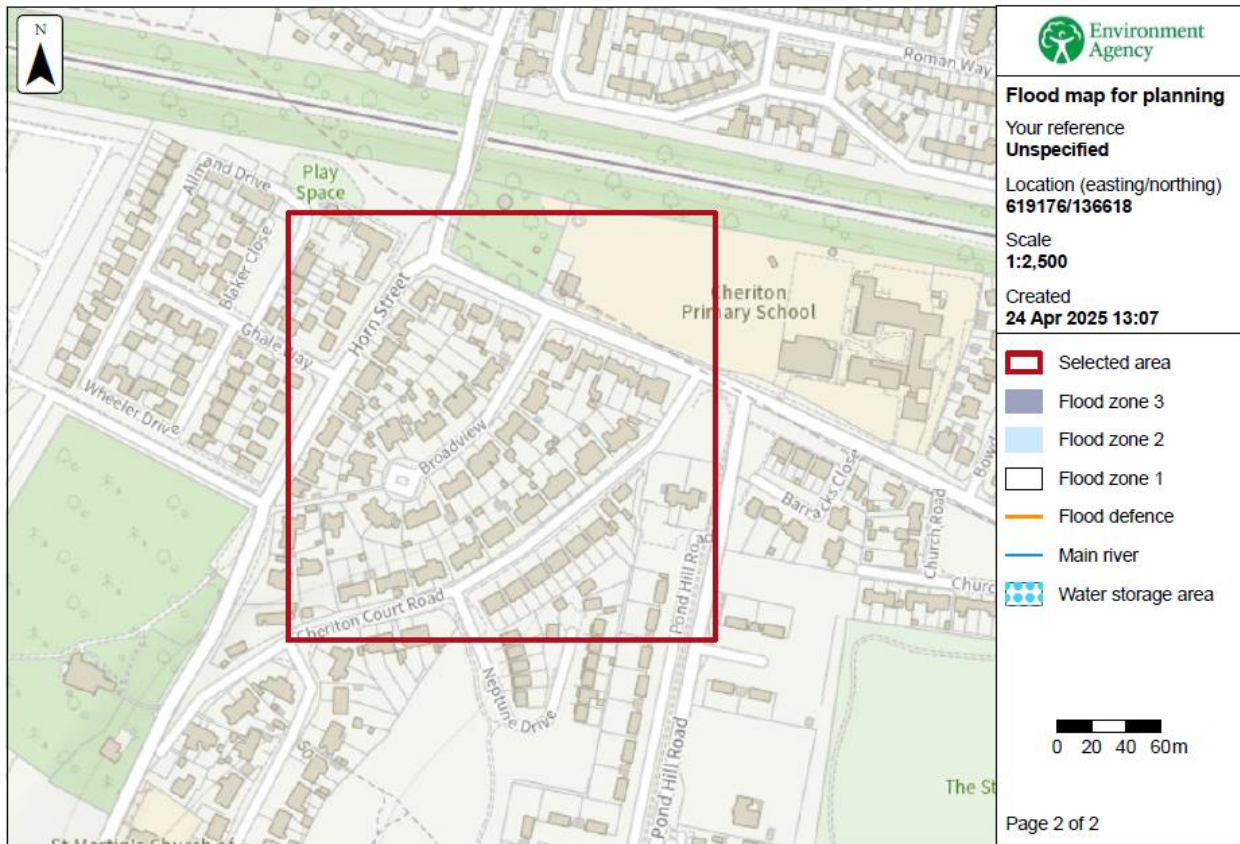


Figure 6. Flood map showing the site in relation to Flood Zones

## 9. Conclusion

9.1. This application is for the erection of a combined rear residential extension and replacement garage.

- 9.2. This Supporting Statement has identified the planning policy and guidance relevant to our application and demonstrates that the proposal for an extension and replacement garage fully accords with the provisions of the NPPF and other local planning policy and guidance. In particular, the development would be of a design and scale which is sympathetic to the surrounding built environment and there would be no resultant impact on neighbouring residential amenity or that of future occupiers.
- 9.3. We submit that there are not any adverse impacts that would significantly and demonstrably outweigh the benefits of the proposal, and it is respectfully requested that planning permission be granted accordingly.