

JAMES CLAGUE  
ARCHITECTS

Old Mount Farm,  
Mount Hill,  
Rhodes Minnis

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Canterbury,  
Kent CT4 6YD

DESIGN  
STATEMENT  
April 2025

# FOREWORD

This document has been produced on behalf of our client, Mr Conte, to accompany a Full Planning Application to seek consent from Folkestone and Hythe Borough Council for the following works:

'Erection of replacement single detached dwelling-house''

At his residential address: Old Mount Farm, Mount Hill, Rhodes Minnis, Canterbury, Kent, CT4 6YD

# CONSULTANT TEAM

Applicant : Mr Joe Conte  
Architect : James Clague Architects

Issue/ Revision	Date	Description
DRAFT		

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# 1.0 INTRODUCTION

This Design and Access Statement has been prepared in support of a Full Planning Application for the erection of a part-sub-terranean 2 storey detached replacement dwelling + lower ground floor.

A well considered scheme was previously produced by Idris Perrineau Town Limited (IPTA) Architecture and Design consultants for a sustainable family home with careful consideration of the site's elevated position and undulating topography to produce a sustainable building designed nestled into the landscape, whilst of appropriate scale and massing to its existing farmhouse.

Planning approval was granted 25th January 2007 - planning ref. Y07/0137/SH.

JCA have been appointed to re-submit the application and have set out decisions which have lead to design and submission within this Design and Access Statement which is to be read in conjunction with IPTA's approved proposals as well as JCA revised architectural drawings to illustrate how the requirements, parameters and principles of the proposed works are to be met.



## 2.0 SITE LOCATION

The 0.08 hectare application site is within the small rural settlement village of Rhodes Minnis, with Lyminge approximately 1.5 miles to its south, Stelling Minnis 6 miles to its north and 5 miles north of Folkestone.

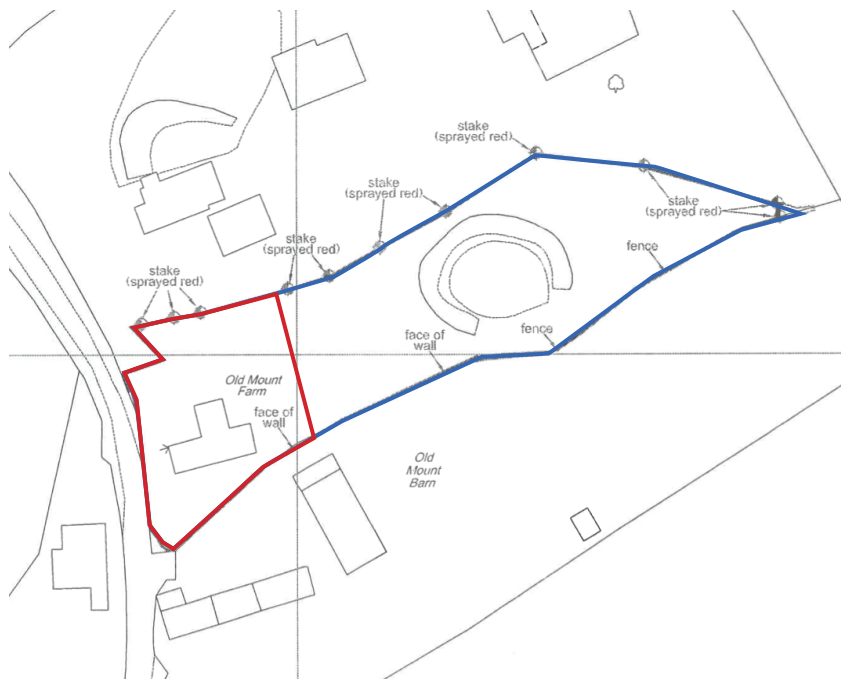
The site is approximately 1km (2 minutes drive) to the north-east of the village, near the top of Mount Hill, a narrow steep lane which connects Chapel Lane to its north and Cullens Hill to its south.

Whilst its postal town is Canterbury the site is within the Folkestone and Hythe District.

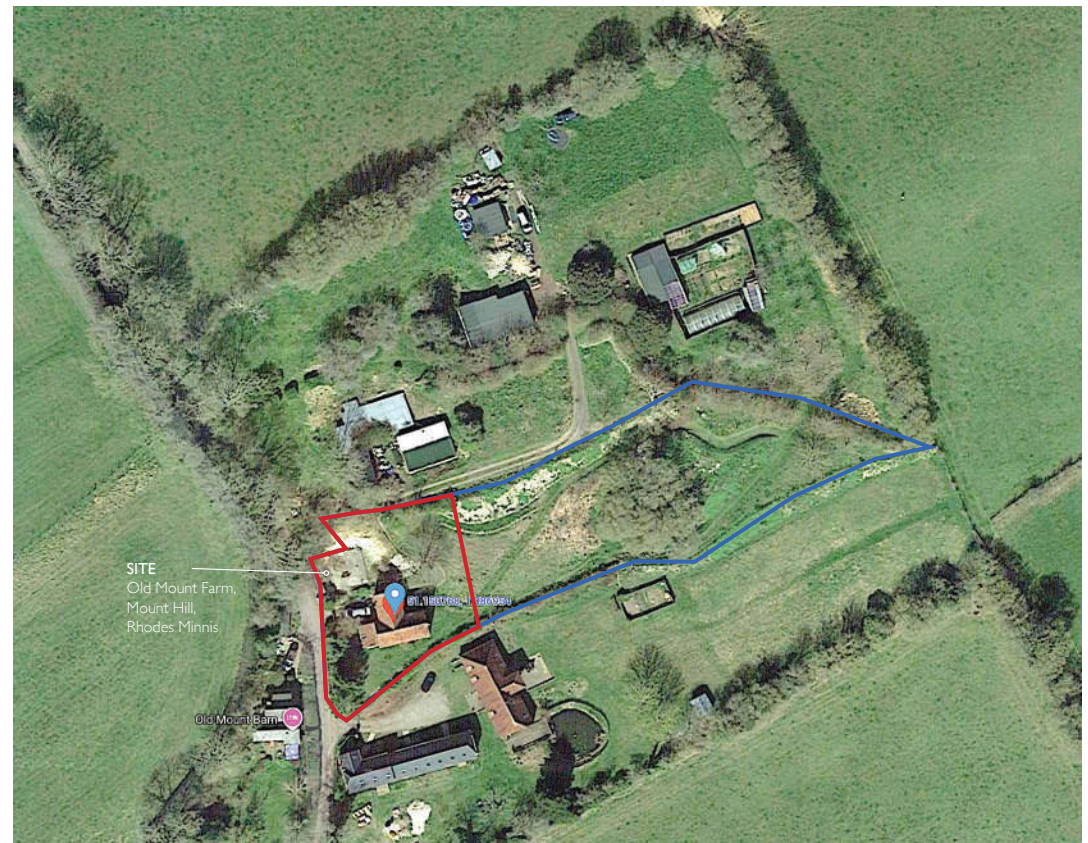
The site is midway up Mount Hill and extends east to west from the lane.



Site Location images by Google Maps



- Application site
- Ownership site Geo-survey 2024



## 2.1 SITE LOCATION - Wider views into site

The site is within a cluster of residential properties along Mount Hill, surrounded by fields high up to the right of the lane.

The site slopes down from north to south.

There are overgrown hedge trees on the road frontage, a low hedge on the southern boundary and a and hedges on the northern boundary.

Fields expand to the front of the residential buildings to both sides of the lane.

The cluster of buildings are dispersed evenly up the lane.



Site location - far reaching views of site by Google Maps



## 2.2 SITE LOCATION - Immediate views into site



### 3.0 LOCAL CHARACTER - Immediate Vicinity

There are 3 neighbouring residential properties along Mount Hill, which front the lane with generous grounds surrounding them. Some sit tight to the road, others perpendicular to it screening by trees and hedgerows.

Lower Mount Farm - at the bottom of the hill is brick and flint faced under barn end clay tiled roof.

Shrubbery Cottage is white weather boarded 3 storey gable ended property under slate roof

Old Mount Barn is naturally weather boarded under barn end slate roof property

Above the site is a cluster of storage buildings under a separate ownership.

The site is immediately entered from the road to a parking area to the west of the building, opposite a single storey building associated to Shrubbery Cottage.



Site

Shrubbery Cottage



Shrubbery Cottage

Old Mount Barn



Brick and flint faced Lower Mount Farm under clay tiled roof

# 4.0 SITE CHARACTER

## WITHIN THE SITE

The site's lawful use is residential, a 2 storey brick faced 19th Century farmhouse with out-shot lean-to under pitched roof clay tile roof having occupied the site for over 200 years along with associated outbuildings buildings.

Planning applications for extensions to the farmhouse were unsuccessful and the owners were unable to restore the property to suit, an alternative viability sought to replace it with a new property.

## DWELLING HOUSE APPROVED FOR DEMOLITION

The farmhouse was approved for demolition and a new design approved for a dwelling house with associated garage approved under a separate planning application, associated to the replacement dwelling house scheme.

## EXISTING BUILDINGS

The approved garage is part-constructed close to the western boundary with Mount Hill, built with a mono pitch roof (to be a green roof waiting to be married into the proposed dwelling house) .



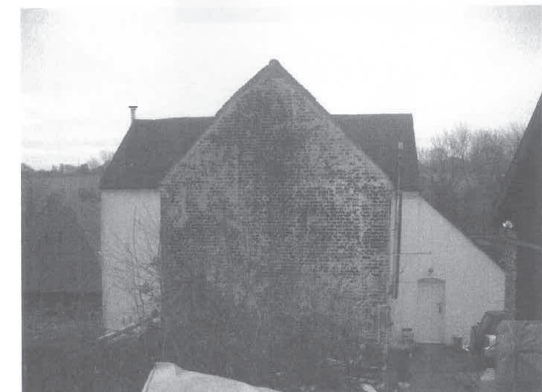
EAST ELEVATION



WEST ELEVATION

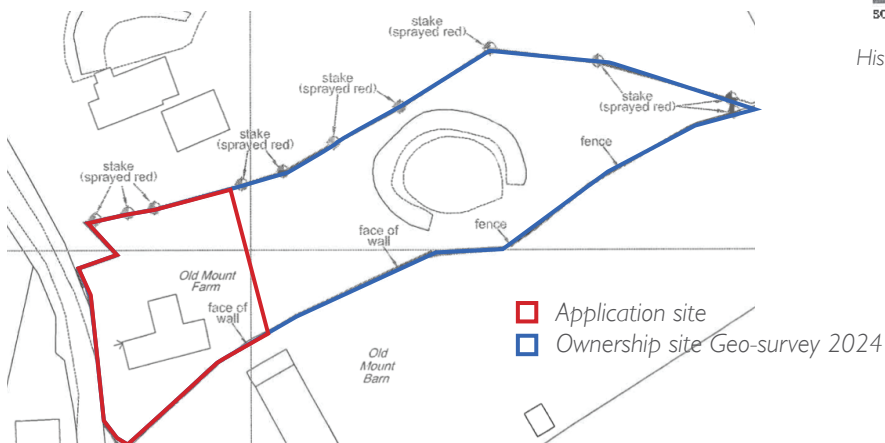


SOUTH ELEVATION



NORTH ELEVATION

Historic photos of farmhouse on site



## 5.0 PLANNING

### 5.1 PLANNING POLICY

**LOCAL PLAN** - Policy HBI (Quality Places Through Design) allows development which makes a positive contribution to its location and surroundings, respects existing buildings and does not have an adverse impact on the amenity of future occupiers, neighbours, or the surrounding area. Policy HB3 (Internal and External Space Standards) requires compliance with national housing space standard and provision of private open space.

Policy HB5 (Replacement Dwellings in the Countryside) permits replacement dwellings in the countryside provided the existing dwelling has lawful residential use; the design (scale, bulk, massing, external appearance and architectural detail, material, lighting and location) does not harm the wider landscape, neighbour amenity or use that suitable access can be achieved.

**CORE STRATEGY REVIEW** - Policy CSD3 (f) (Rural and Tourism Development) and SS3 Place-Shaping and Sustainable Settlements Strategy accepts replacement development when of high quality sustainable design in rural areas.

Policy CSD5(d) (Water and Coastal Environmental Management) Located in the North Downs the development will incorporate measures to satisfy requirements of this policy so as not to have any adverse impact on water quality in the Stodmarsh European-designated sites.

**CORE STRATEGY REVIEW**- Policy CSD4 (Green Infrastructure of Natural Networks, Open Spaces and Recreation) requires development proposals to provide net gains in biodiversity and to protect and enhance valued landscapes.

**DESIGNATIONS** - The site is in the Kent Downs Area of Outstanding Natural Beauty (AONB).

The site is within an Archaeological Notification Area with some Palaeolithic potential within the historic farmstead, however, no archaeological report was deemed necessary by KCC in the first instance, nor any archaeological conditions applied to the original planning permission nor the renewal permission.

The site is not within/does not have a flood risk zone; the curtilage of a listed building; a conservation area; SAC, SPA, SSSI; trees of any significance nor TPO's. (*Historic England's website depicts a barn about 100m to the south-west of the application site to be grade II listed.*)

**LANDSCAPE & BIODIVERSITY** - Policy NE2 (Biodiversity) safeguards Special Areas of Conservation (SAC), Special Protection Areas (SPA) and Ramsar sites. All new development will be required to conserve and enhance the natural environment.

Policy NE3 (Protecting the District's Landscapes and Countryside) requires proposals to conserve and enhance natural beauty of the national landscape and reinforce and respond to the distinctive character and special qualities of the area.

**SUSTAINABILITY** - Policy CC2 (Sustainable Design and Construction) permits development which has various sustainable features.

NPPF paragraph 11 sets out the presumption in favour of sustainable development. Paragraphs 131 and 135 require good design. Paragraph 187 says that valued landscapes should be protected and enhanced and net gains for biodiversity provided. Paragraph 189 states that great weight should be given to conserving and enhancing landscape and scenic beauty in national landscapes.



Folkestone Hythe administrative (blue) boundary & Water and Coastal Environmental Management (green hatch) ZONE - map source <https://folkestone-hythe.maps.arcgis.com/apps/webappviewer/index.html?id=810df39586de4b7084dafc5b9356e9b7>



Rhodes Minnis Policy SS1 District Spatial Strategy - the application site is not within a flood zone and is outside the North Downs Stodmarsh Catchment Area map source: <https://publications.naturalengland.org.uk/publication/6217816444502016>

## 5.0 PLANNING

### 5.2 PLANNING HISTORY

Y07/0137/SH - Minor dwelling development planning approval for a replacement dwelling house granted 19 March 2007 for the demolition of the farmhouse and erection of a detached dwelling house for which this scheme re-submits.

Y09/1212/SH Extension of time for the above application made December 2009. The council's website record does not record a decision, however, a bat survey was undertaken in connection with this application and mitigation measures identified and included in the subsequent approved garage application in the form of a purpose-built bat loft over the new garage, as depicted in this application.

Y12/0285/SH Detached garage planning approval granted 28 May 2012 for the erection of a detached garage, incorporating aforementioned bat loft above in roof space, to replace existing garage.

In association with this the applicant understood that he had planning permission to implement the replacement dwelling scheme, as approved under reference Y07/0137/SH having obtained a Natural England licence to demolish the farmhouse.

Y06/1417/SH - Application Y07/0137/SH resubmission for the erection of a detached dwelling house following demolition of existing redundant farmhouse and council contact in November 2024, advising that the replacement dwelling did not have planning permission. Accordingly, work ceased and the application was re-submitted application- no decision online.

Prior to this a series of planning applications associated to the farmhouse pre 2005 included:

99/0427/SH Approved application for the erection of a 2 storey rear extension, polytunnel and detached garage following demolition of a hay barn dated 9/8/99

Y04/0767/SH Refused application for an attached triple garage to the side elevation, incorporating rooms in roof space and erection of front porch and sun room to rear with gallery over dated 15/7/04

Y05/0856/SH Refused application for a front porch and 2 storey side extension and rear sun room with decked balcony over dated 03/11/05

Y05/0858/SH Refused application for erection of detached triple garage dated 7/11/05

## 5.0 PLANNING

### 5.3 APPROVED SCHEME- OVERVIEW

The approved application was for the demolition of an existing redundant farm house and replacement with a sustainable 2 storey + basement family home.

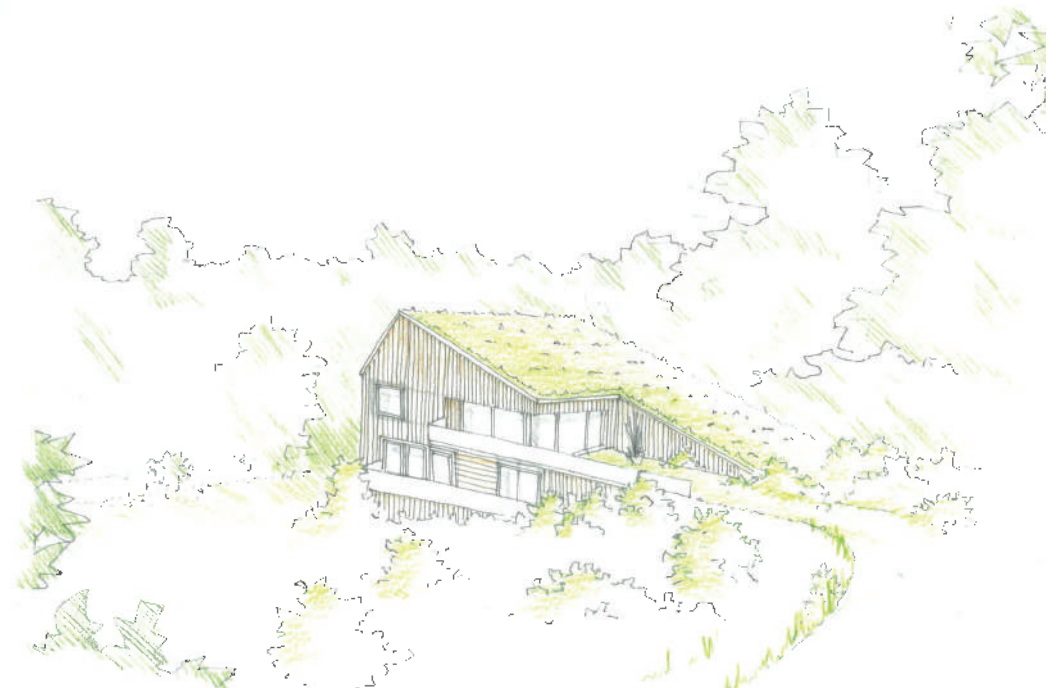
The design restricted the main body of the new dwelling within the footprint of the historic farmhouse whilst utilising the natural sloping site to reduce its size and bulk by cutting extents of the building into the site, thus reducing impact on its countryside setting.

There was no objection from the environment agency. The design was considered to be an interesting contemporary design using sustainability principles with potential to sit well in the landscape

The design honours rural setting by restricting its scale to that of the farmhouse and surrounding properties and has followed good practice principals as required in East Kent 'Chalk' Downs AONB side landscape design, through changing materials and pitches to nestle the building into the ridges and slopes so as to minimise visual impact and not have any adverse impact on the AONB landscape setting, nor be of any detriment to any views, using natural neutral locally available materials to create a visual link to the countryside., complimenting neighbouring timber clad building colours and finishes in a contemporary manor.

Furthermore, the proposals retain key landscape features including existing trees, wildlife hedgerows, and site undulations.

Orientation and fenestration maximises natural daylight whilst minimising solar gain, reducing overlooking impact to adjacent buildings and maximise vistas.



*IPTA View from North East Drawing No. 535/PL/04*

#### 5.3.1 APPROVED SCHEME- IMPACT ON NEIGHBOURS

The siting is the same location as the farmhouse its southern profile no more imposing and honouring the historic ridge height, hence no more dominant.

The proposed dwelling has fewer windows to the south elevation than the farmhouse. At first floor level there is a single window plus two high level roof lights at a height negating any overlooking Old Mount Barn. Shubbery Cottage is 12 meters to the west facing elevation where poposed first floor fenestration is angled to alleviate any adverse impact on neighbours in accordance with local plan policy HBI.

# 5.0 PLANNING

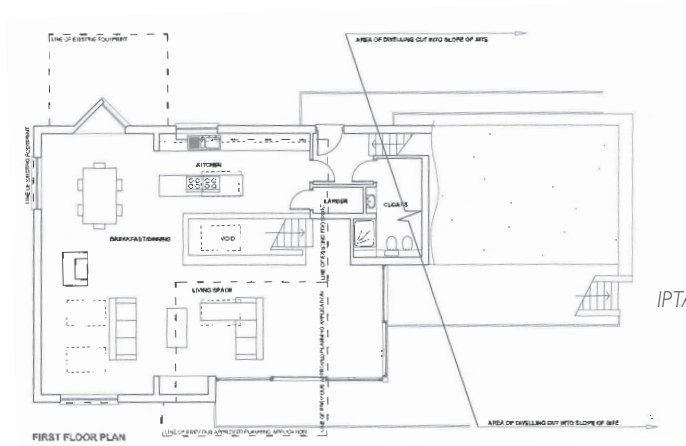
## 5.3.2 APPROVED SCHEME - PLANS

The approved property provided 4 x ground floor bedroom en-suites, open plan upper floor living space and basement ancillary rooms as well as storage.

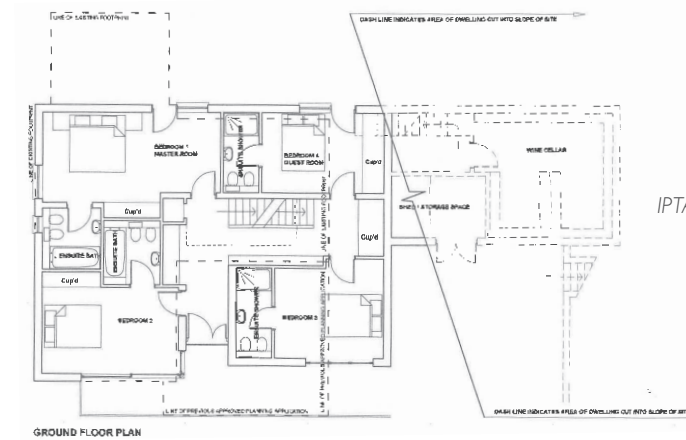
The building was part elevated and part nestled within the slope of the landscape under a sedum planted grass roof, providing sub-terranean accommodation to the rear of the building.

The existing access is retained from Mount Hill to the west of the building.

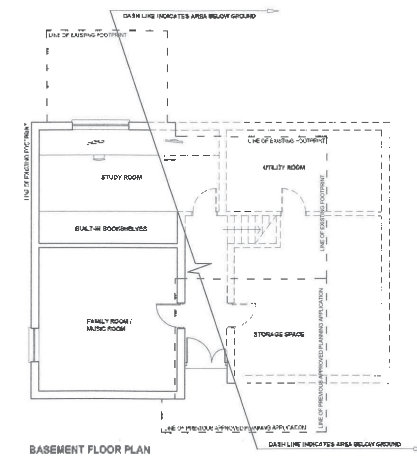
The terrace and private gardens to the rear north facing.



*IPTA First Floor Plan Drawing No. 535/PL/13*



*IPTA Ground Floor Plan Drawing No. 535/PL/12*



*IPTA Basement Floor Plan Drawing No. 535/PL/11*

## 5.0 PLANNING

### 5.3.3 APPROVED SCHEME- MATERIALS

In elevation the main material is vertical timber under a slate tile pitched roof to the south facing elevation and sedum roof to the north.

To the street facing west elevation is the principle access door at ground floor and garage access, with oriel window from living space to the upper floor.

The south and north elevations have roof lights within the pitched roof.

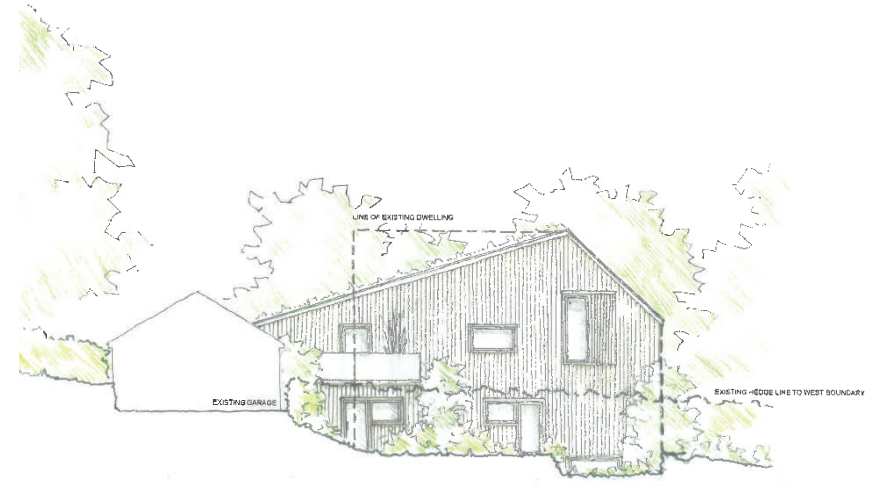
The east elevation has white painted balconies to the ground and first floors, the lower ground floor visible and secondary entrance at this level from this elevation

Proposed materials are natural finishes able to be re-cycled at the end of their life time:

- Timber frame
- Timber cladding
- Slate PV roof tiles to the south facing roof slope,
- Green sedum roof planted in grass blanket with herbs and succulents.



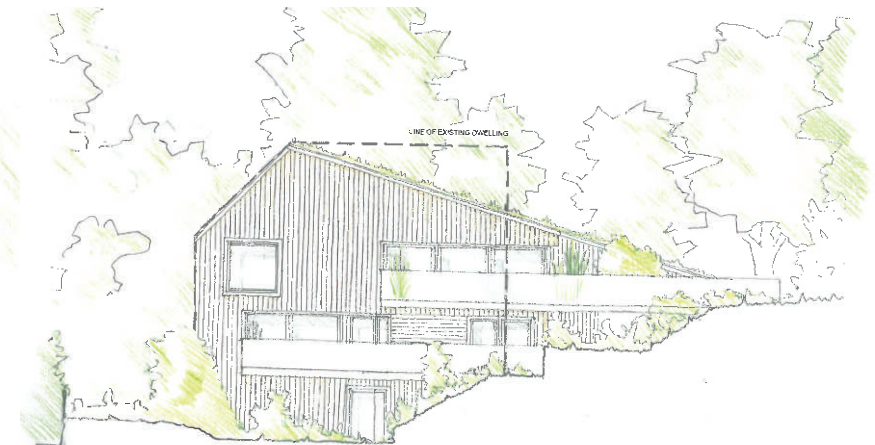
*IPTA South facing elevation Drawing No. 535/PL/09*



*IPTA West facing elevation Drawing No. 535/PL/06*



*IPTA North facing elevation Drawing No. 535/PL/10*



*IPTA East facing elevation Drawing No. 535/PL/07*

## 5.0 PLANNING

### 5.3.4 APPROVED SCHEME- VISUAL INTERPRETATIONS

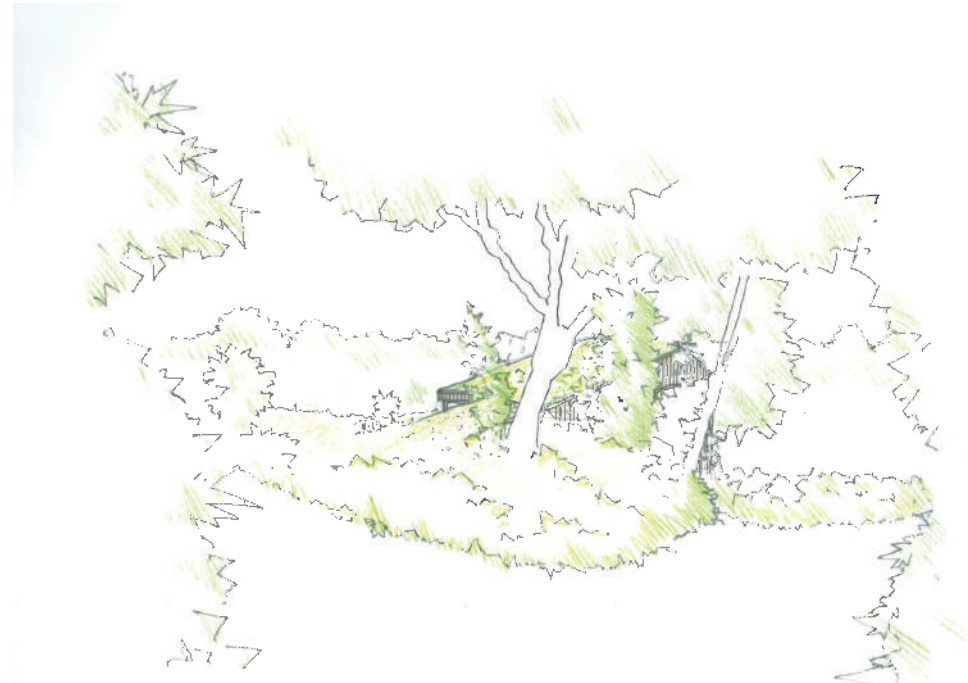
Visuals by IPTA displayed how the building is barely visible from the north to south approach along Mount Hill from the road and the building is read as a two storey farmhouse at the top of the hill upon viewing the property from the south from which the property enjoys far reaching views across the valley.

Fenestration to the upper floor is reduced to discourage overlooking neighbouring residencies below.

The full appeal of the design is noted in the birds eye view from the rear of the building, taking advantage of its views over open countryside.



*IPTA View from South West Drawing No. 535/PL/05*



*IPTA View from North West Drawing No. 535/PL/06*

# 6.0 PROPOSALS



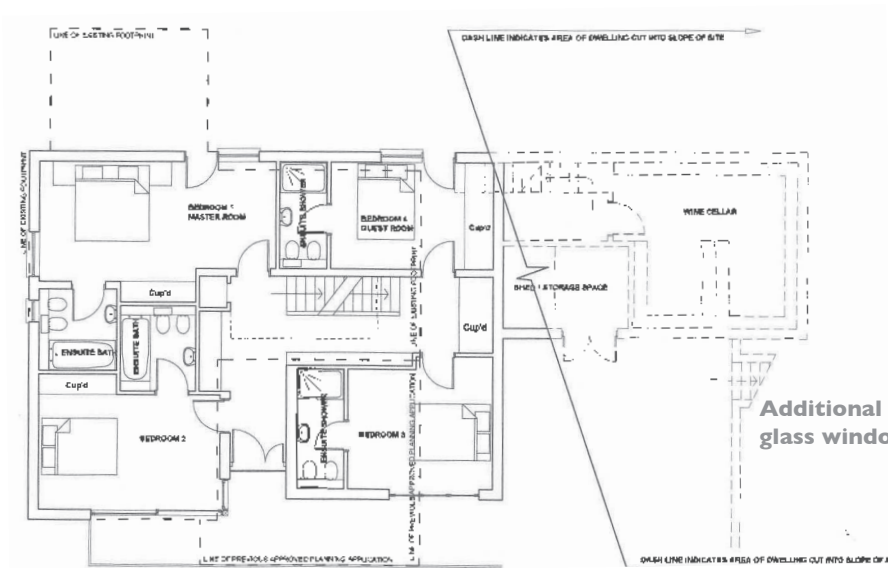
## 6.1 REVISED SCHEME- GROUND FLOOR PLAN COMPARISON

The main entrance is centrally located with 1.5 leaf door replacing previous window and door. Further entrance doors to bedroom 4 is removed deemed unnecessary and between bedrooms 2 & 3 removed and infilled.

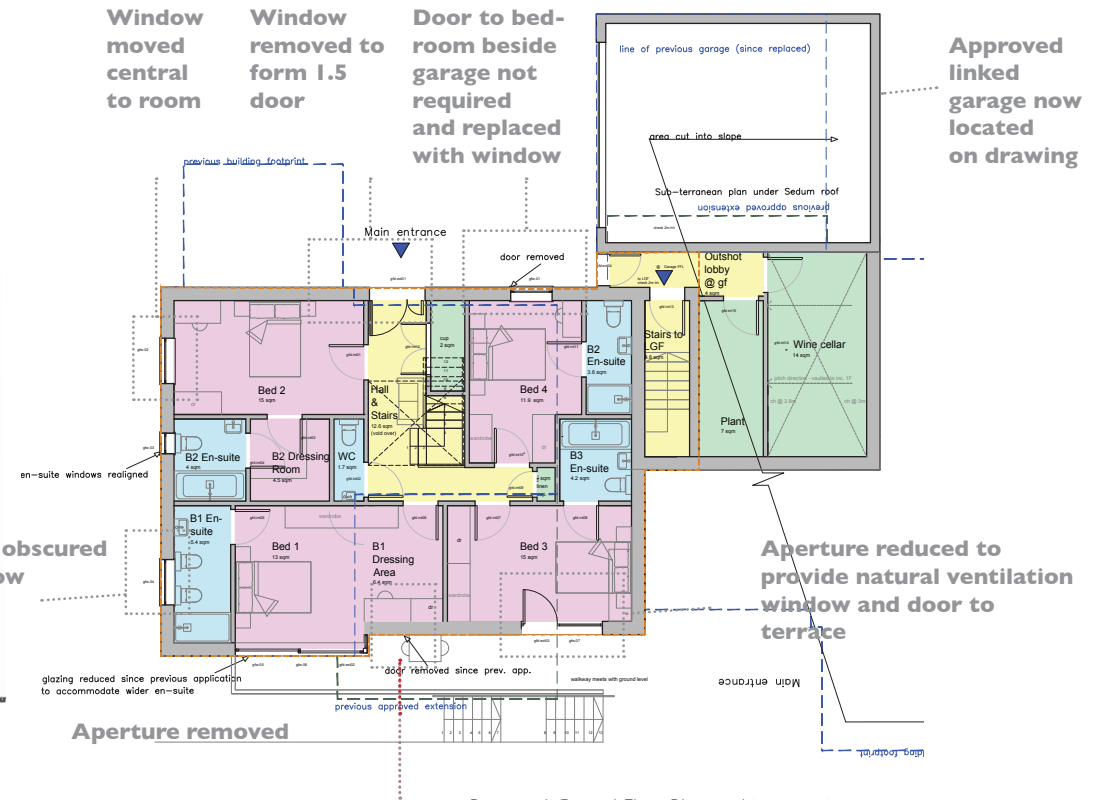
The garage is now located on plan with door to sub-terranean level under sedum roof with wine wellar and plant room re-orientated and double doors to the north east removed where ground level is above external access.

The

- KEY
- Previous building extents
  - Lower floor spaces
  - Bedroom spaces
  - Living room spaces
  - Utility spaces
  - Circulation
  - Storage spaces



Approved Ground Floor Plan Drawing No. 535/PL12



Proposed Ground Floor Plan and interventions since approve application

# 6.0 PROPOSALS



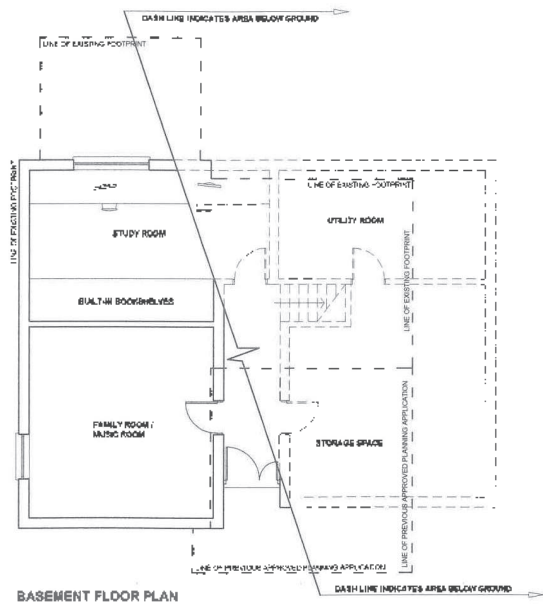
## 6.2 REVISED SCHEME- LOWER GROUND FLOOR PLAN COMPARISON

Access down to the lower ground floor internally is from the door beside the garage.

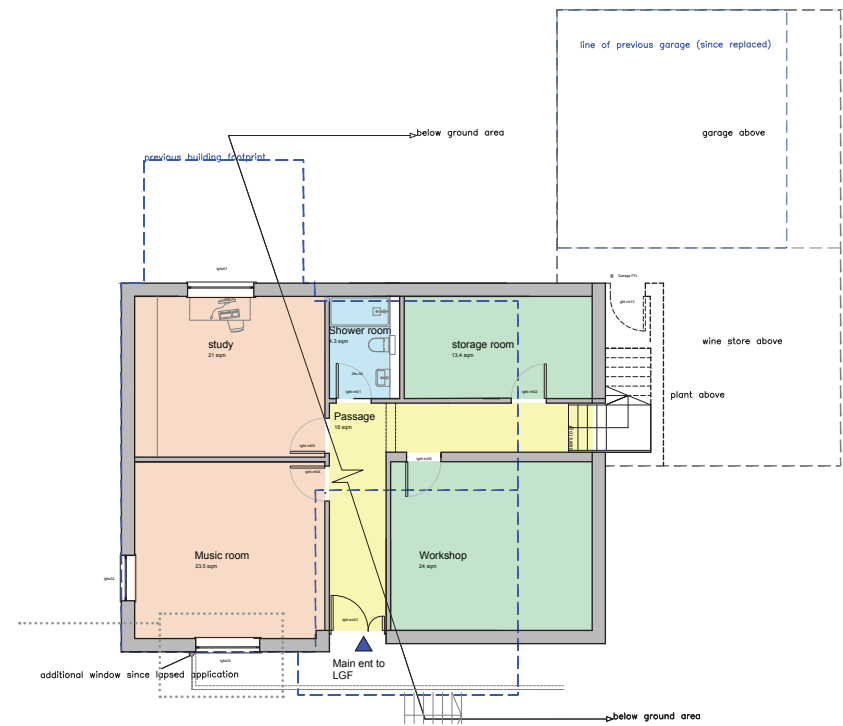
An additional window provides dual aspect light to the music room.

A shower room and storage room have been located replacing the utility room and the previous storage room now a workshop.

- KEY
- Previous building extents
  - Lower floor spaces
  - Bedroom spaces
  - Living room spaces
  - Utility spaces
  - Circulation
  - Storage spaces



Approved Basement Floor Plan Drawing No. 535/PL/11



Proposed Lower Ground Floor Plan

**Additional window to LGF**

# 6.0 PROPOSALS



## 6.3 REVISED SCHEME- UPPER FLOOR PLAN COMPARISON

The front balcony has been removed, along with the entrance door, deemed unnecessary. The living room spaces are re-aligned to the relocated central stairwell, providing a larger kitchen, with utility room directly accessed from it.

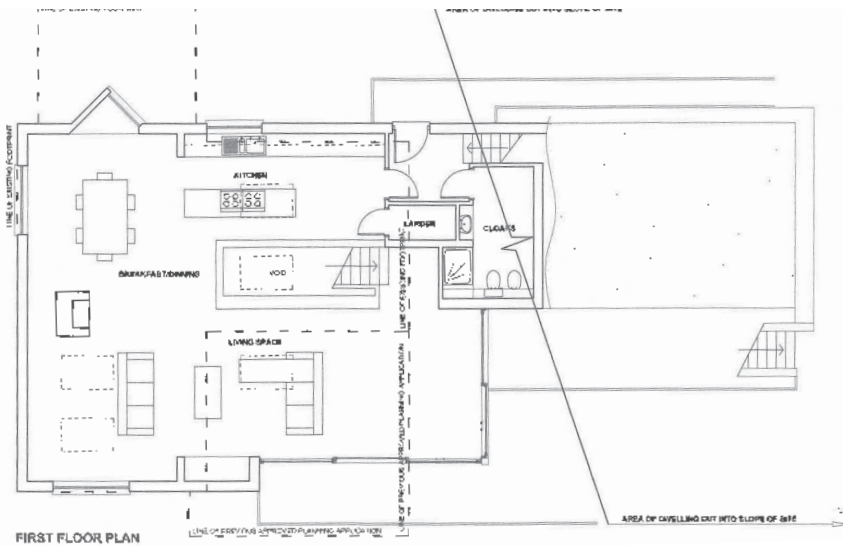
Spaces have been redefined to locate dining and breakfast areas.

The stairs lead to the mezzanine space above the dining area.

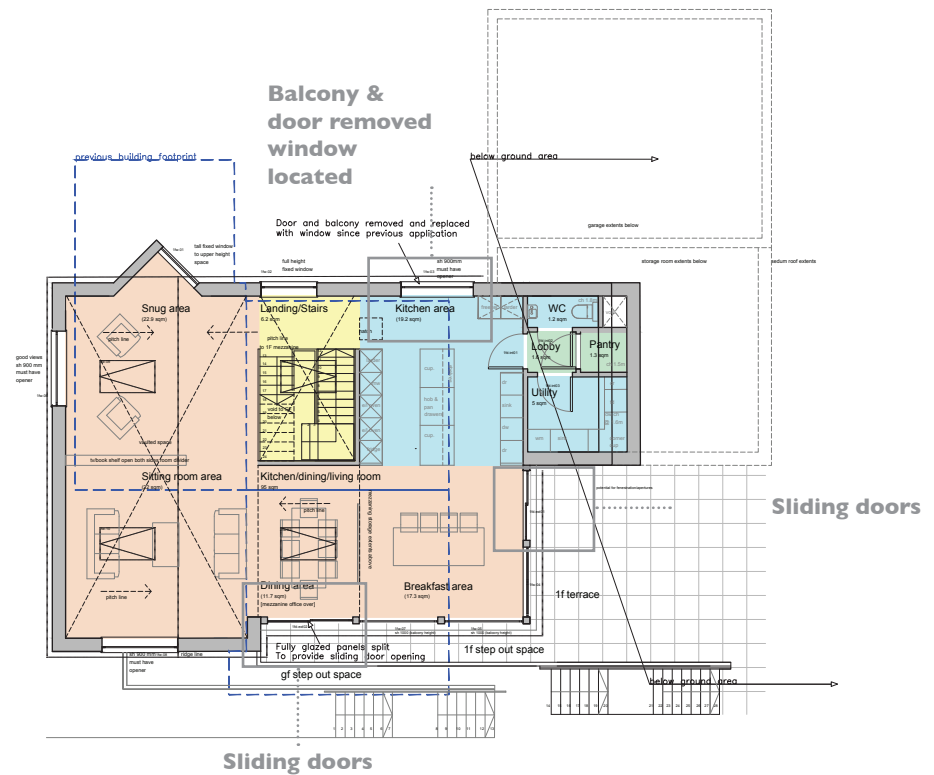
The sitting room and snug area remain vaulted.

Sliding exit doors replace fixed glazing to the balcony and terrace.

- KEY
- Previous building extents
  - Lower floor spaces
  - Bedroom spaces
  - Living room spaces
  - Utility spaces
  - Circulation
  - Storage spaces



Approved First Floor Plan Drawing No. 535/PL/12



Proposed First Floor Plan

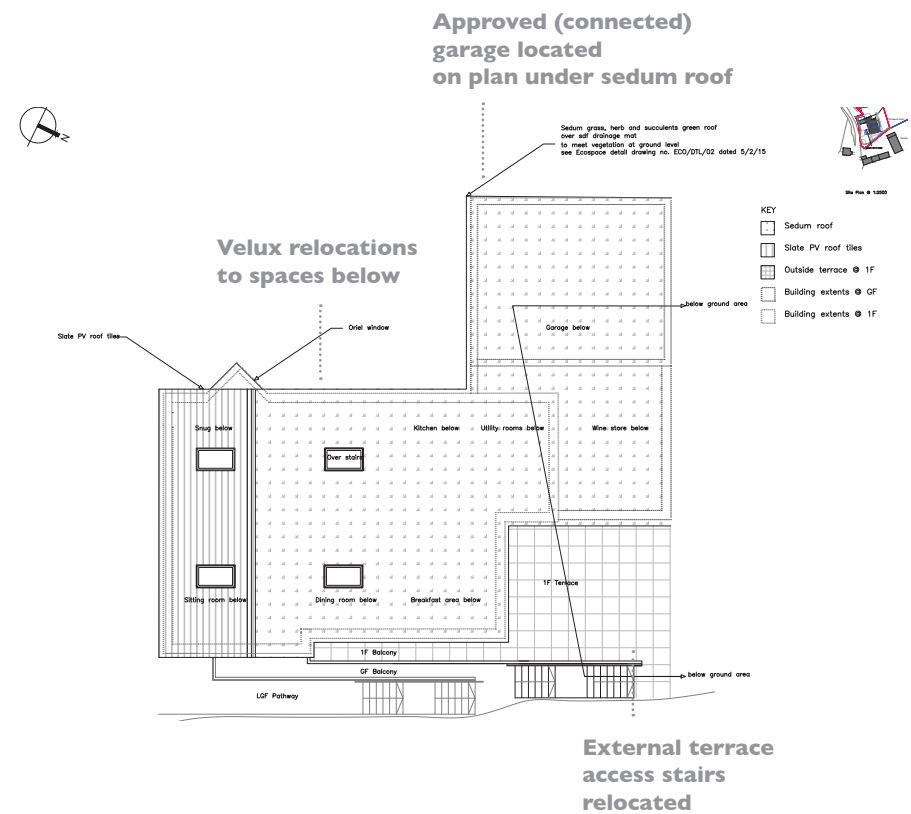
# 6.0 PROPOSALS

## 6.4 REVISED SCHEME- ROOF PLAN COMPARISON

Additionally PV slate tiles have been added in addition to the original scheme's sustainable solutions.



Approved Roof Plan Drawing No. 535/PL/13



Proposed Roof Plan

# 6.0 PROPOSALS

## 6.5 REVISED SCHEME- EAST ELEVATION COMPARISON

Since the approved application the ground floor entrance door to the rear has been removed and an additional window located to the lower ground floor. It also replaces a fixed wide pane to the first floor dining room with a sliding opening. (see plans for locations).

The updated drawings forming part of this submission have depicted the floor heights and stairwell within the building with dashed orange lines.



Approved East Facing Elevation Drawing No. 535/PLI07

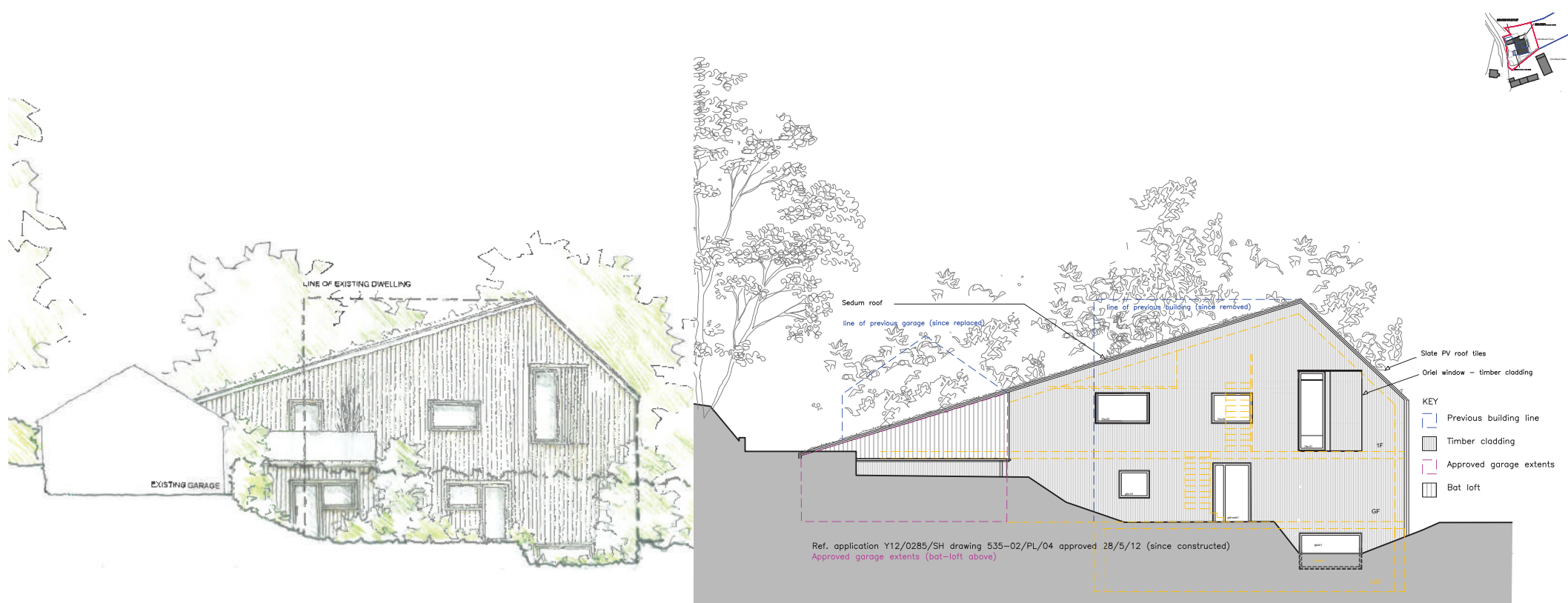
Proposed East Facing Elevation



# 6.0 PROPOSALS

## 6.6 REVISED SCHEME- WEST ELEVATION COMPARISON

To the west facing elevation, the garage as approved has now been constructed depicted in the revised elevation, the balcony and access door to the first floor removed and replaced with a window and the entrance door to the ground floor and window beside the main entrance now removed.



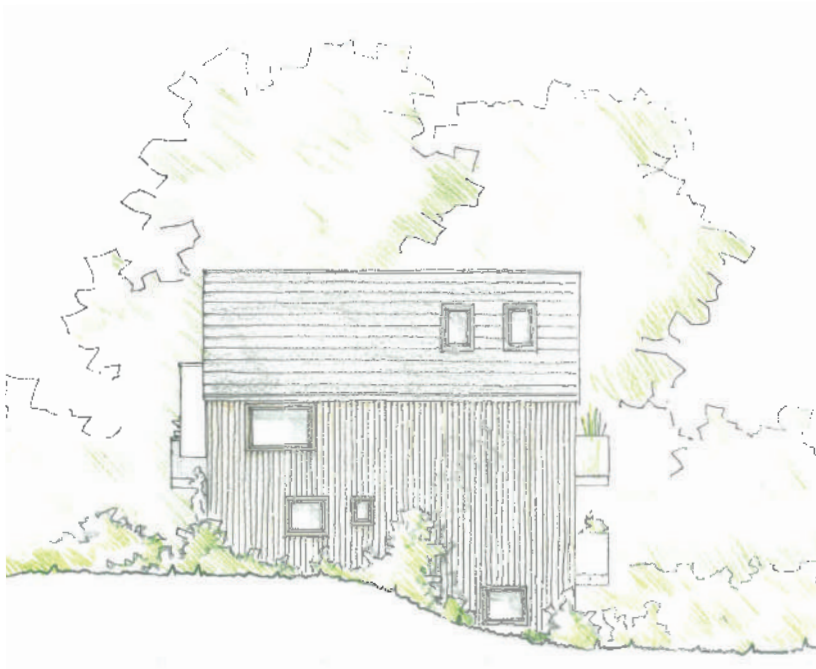
Approved West facing elevation Drawing No. 535/PL/06

Proposed West Facing Elevation

# 6.0 PROPOSALS

## 6.7 REVISED SCHEME- SOUTH ELEVATION COMPARISON

To the south facing elevation the roof lights have been re-positioned to align with interior spaces to the first floor and the additional window to the bedroom en-suite has been located to the ground floor aligned to the lower ground floor window.



Approved South facing elevation Drawing No. 535/PL/09



Proposed South Facing Elevation

# 6.0 PROPOSAL

## 6.8 REVISED SCHEME- NORTH ELEVATION COMPARISON

To the north facing elevation the roof lights have been re-positioned to align with interior spaces to the first floor and the fixed glazed window has been replaced with sliding doors to gain access to the terrace.

The green roof extents are depicted over the garage.



Approved North facing elevation Drawing No. 535/PL/10

Proposed North Facing Elevation

## 7.0 DESIGN DECISIONS

### 7.1 SCALE & MASS

Key consideration has been given to the scale and mass of the proposal within the AONB. This has been realised through the proposed setting of the development.

The south facing roof is of a traditional plain slate tile referencing the surrounding buildings and aiding in breaking up the mass of the roof form.

The positioning and orientation aids the buildings seamless setting with the hillside to the north and west, the roof fluidly transitioning into the landscape, unobtrusive to the site and maintaining countryside existing character.



Guidance toward earthy colour material palette



Solar slate tiles

### 7.2 MATERIALS

Guidance has been sought from the Kent Downs AONB selection and use of colour in development guide.

The materials to be used are a contemporary and traditional mix to complement properties within close proximity to the site. Reference has been taken from the palette of materials in the surrounding area and hence the proposed scheme is responding sensitively to the its rural location and setting, including light vertical sustainable FSC certified timber cladding to provide background texture to the landscape setting, plain slate roof tiles and glulam joinery within.



Sedum roof



Cedar vertical clad elevations  
black framed aluminium fenestration

## 7.0 DESIGN DECISIONS

### 7.3 PRECEDENT IMAGES

Design, material and style precedence has been taken from local vernacular buildings as well as using permeable surface materials and from viable sustainable strategies and buildings within a rural countryside setting.



*Gravel (or other permeable material) drive*



*Kent peg clay tiles*



*RIBA Award-Winning Dental Practice Rises From The Lush British Countryside*



*The Cedar Lodges / Adam Knibb Architects*



## 8.0 LANDSCAPING

Where possible, existing trees and vegetation will be retained and landscaping to be carried out and maintained in accordance with the proposed siting of the house.

All driveway materials to be permeable. For the Sedum roof refer Ecospace detail drawing no. ECO/DTL/02 dated 5/2/15, proposing a mix of Sedum Album, Kamtschaticum, Monatanum Orientale, Rupestri, Pulchellum, Acre, Sexangulare, Ewersie, Verticillatam and Spirium Delosferma/Halli (depending on seed availability)

The development will incorporate measures to satisfy requirements of Policy CSD5(d) so as not to have any adverse impact on water quality in the Stodmarsh European-designated sites.

## 9.0 HIGHWAYS, PARKING & ACCESS

The proposed access arrangement remains as existing to the west of the plot. There is comfortable turning and manoeuvring / circulation space for delivery vehicles, and cars etc. This ensures for being able to exit the site in forward gear.

The driveway will be carefully landscaped to allow for adequate drainage and lined with greenery. The permitted and built garage located alongside the proposed dwelling, vehicles to enter from the south, meeting local plan policy criterion HB5 3.

## 10.0 SUSTAINABILITY

In accordance with Folkestone-Hythe Net Zero Carbon Building Core Principles and Sustainability Appraisal and Strategic Environmental Assessment the building is to be constructed in high quality sustainable materials of low environmental impact, locally sourced/ certified (FSC) to reduce manufacture, transport and construction emission impact to reduce in use carbon, also in their maintenance and repair.

Energy efficient low carbon renewable energy solutions include ground source heat pump to provide space heating, cooling and hot water and solar photovoltaic slate effect tiles to generate electricity when exposed to sunlight with battery storage and water storage located in the plant room.

## 11.0 HABITAT, ECOLOGY & BIODIVERSITY

The site has been maintained garden for many years.

Retention of existing planting and addition of native planting allows for a natural buffer between the site and the adjacent road, mitigating any harm to the ecology on the site.

In accordance with Policy NE2, Biodiversity, a bat scoping survey was conducted by Lloydbore Landscape and Ecology in January 2013 and a subsequent strategy to incorporate a dedicated bat loft over the garage proposed to mitigate any harm which has been addressed in its construction. It is proposed that further bat and swift boxes be incorporated into the construction.

It is intended that a SUDS pond be dedicated to the new building in a disused chalk quarry pit within the extended ownership land site.

As a single self build in a site under 0.5 hectares, this project meets all of the exemption qualification conditions in accordance with <https://www.gov.uk/guidance/biodiversity-net-gain-exempt-developments-and-self-build-custom-house-building> as defined in section 1(A1) of the Self-build and Custom Housebuilding Act 2015.

The site is in the Wastewater Treatment Works Catchment Area. Since the application is for a like-for-like replacement dwelling, there would be no increase in nutrient levels from wastewater discharges. Consequently, a nutrient assessment is not required. This was the view taken by the council in planning applications 23/1484/FH and 22/0284/FH and by the inspector in the appeal decision in respect of 21/2520/FH.

In accordance with Policy CSD5(d) the development will incorporate water efficiency measures with specific design features to demonstrate a maximum 110 litre water usage per person per day and incorporate sustainable drainage (SuDS) and water management features to satisfy requirements of this policy.

In accordance with Policy NE5, Light Pollution and External Illumination, all external lighting will be designed in accordance with the recommendations of the best practice guidance provided by the Institution of Lighting Professionals (ILP) (2011).

No conflict with Policies CSD4, or NE2 nor with NPPF paragraph 187(d) are foreseen.

## 12.0 CONCLUSIONS

The application site's lawful use is residential for a dwelling. Demolition of the farmhouse was undertaken to enable construction of the replacement dwelling, the owner continuing to reside on the site.

Local plan policies CSD3 and HB5 establish the principle of replacement dwellings in the countryside.

The adjusted proposals for the replacement dwelling do not differ significantly from the approved scheme with only minor tweaks to apertures and interior layouts with no change to the intensity of use of the site or impact on residential or visual amenity, ecology, sustainability or drainage.

The scheme was accepted by the council in 2007. The proposed dwelling in this application is of same scale and design to the approved scheme. It is located in the same place as the farmhouse and by virtue of its design, with subterranean living into the land, would be less prominent than the former building.

The proposal discussed within this supporting document describes a scheme that seeks to provide a sustainable contemporary family home that will enhance the visual character of the Kent Downs AONB and retain much of the open countryside and existing ecology. The proposal is responsive to the Kent Downs AONB Management Plan (2021-2026) and seeks to be a positive addition to the landscape, the sloped sedum roof blending seamlessly into the hillside, rendering any views from the south reading a dwelling nestled into the rising landscape.

In design, the proposal is of high sustainable quality design tailored to the characteristics of the site, in accordance with local plan policies HBI, HB5 2. and NE3 and with NPPF paragraphs 131, 135, 187 and 189.

The design responds positively to the site's context within the AONB and is of an appropriate scale, and form. It also responds architecturally to the neighbouring properties in terms of material choice, but proposes a more agricultural typology that sits sensitively within the landscape. This is highlighted by the elevation drawings.

A full bat survey and mitigation measures as required by condition associated to the replacement dwelling house has been addressed with a survey undertaken by ecologists Lloydbore, their method for mitigation approved by the LPA in consultation in accordance with the Natural England licence prior to demolition being appealed.

By virtue of its siting, arrangement, materiality and scale it would not be adversely harmful to the surrounding area and AONB, but would be a positive contribution. There are no material consideration which would indicate a different decision.

As such, this design statement concludes we consider this is a high-quality design that will be harmonious with the rural setting in the AONB. Accordingly, we submit the proposed amended scheme is in accord with the relevant planning policies of the Folkestone and Hythe Core Strategy 2022 and the Places and Policies Local Plan 2020.



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