

Earnshaw Architects

Design and Access Statement

2 Bridge Close
Hythe
Kent
CT21 4DD

Client
Mr and Mrs Prout

Date
February 2026

Status
PLANNING

Job No
25.002

Version
1.1



This document outlines proposals for a ground floor single storey side extension to replace an existing single storey side structure, to a three bedroom semi-detached house in Hythe, Kent.

The proposal is for the removal of an existing uninsulated single storey side structure, and the erection of an insulated single storey extension to accommodate a utility and store, and minor remodelling of the ground floor layout.

Introduction

Located in Hythe, Kent, the site comprises a three bedroom semi-detached house over two floors. The site is in an established residential area and close to local amenities.

Bridge Close is a residential cul-de-sac comprising six dwellings, the majority are semi-detached and there is one detached dwelling. The dwellings each have a front garden and drive, and rear gardens. The architecture largely consists of hipped concrete tile roofs, yellow / red brick and render.

Many of the dwellings have been altered and extended over time, including single storey side extensions.



Image from Google maps



Image from Google maps

Site Location

- Site boundary
- Built form within site
- Built form in surrounding context
- Sunpath
- Existing trees
- Vehicular access

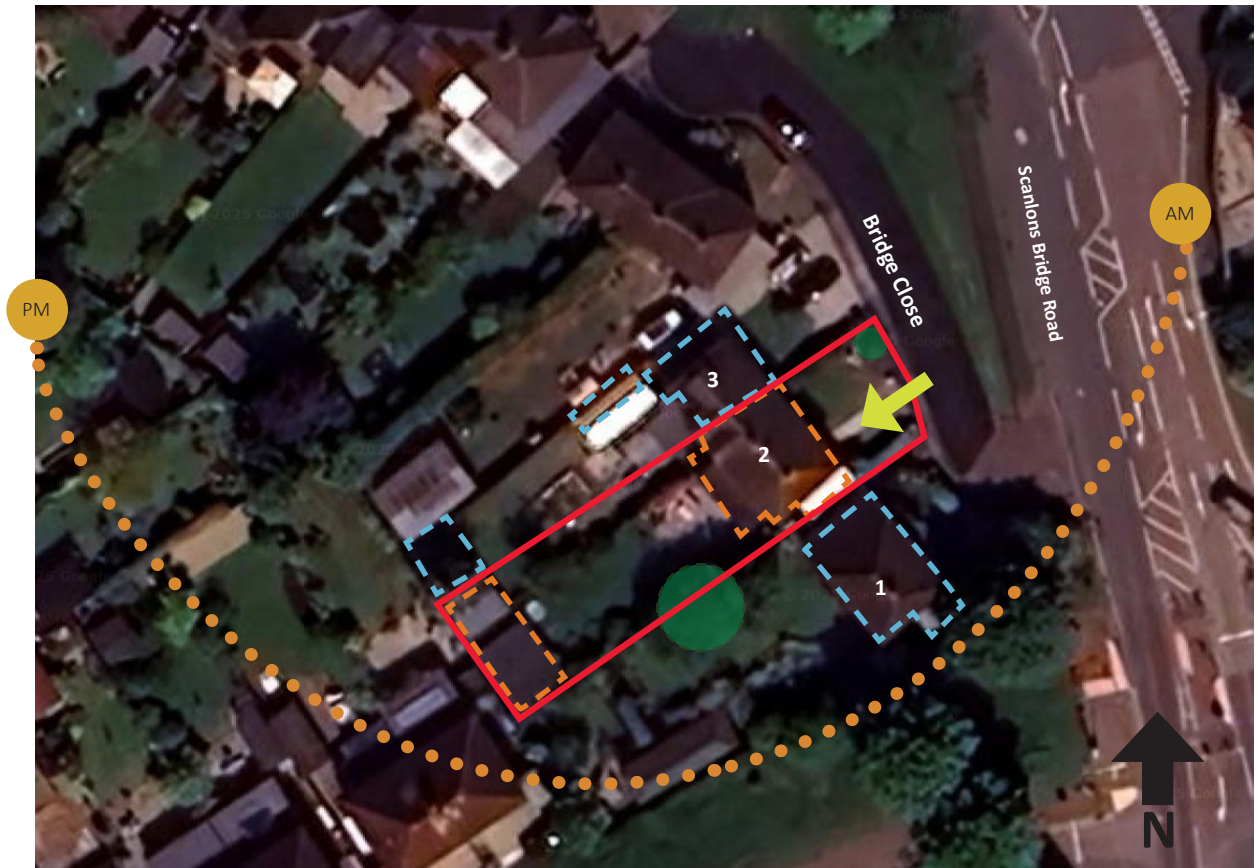


Image from Google maps

Opportunities & Constraints

FHDC Planning Policy Map

According to the FHDC Planning Policy map, the site is within the Settlement Boundary Policy SS1- SS3 and District Character Area Policy SS1. The site is within an Archaeological Notification Area, Flood Risk Zone 3, and an Area of Fluvial / Tidal Flooding.

The site is not within, but is near an Ancient Monument to the south, a Conservation Area to the south, Flood Risk Zone 2, an area of Land Stability to the North, a Provision of Open Space and a Local Wildlife Site.

The site is not a Listed Building, or in an AONB, slope stability area or Strategic Flood Risk Assessment. There are no TPOs close to the site.

Planning History

None available on the FHDC website

Neighbouring Planning History

3 Bridge Close

Y15/0716/SH

Erection of dormer windows to side and rear roof slopes in connection with a loft conversion

Approved

Planning Policies and History

- 1 Front elevation (north)
- 2 Side door to front elevation (north)
- 3 Rear elevation (south)
- 4 Rear side elevation (south)

1



2



3

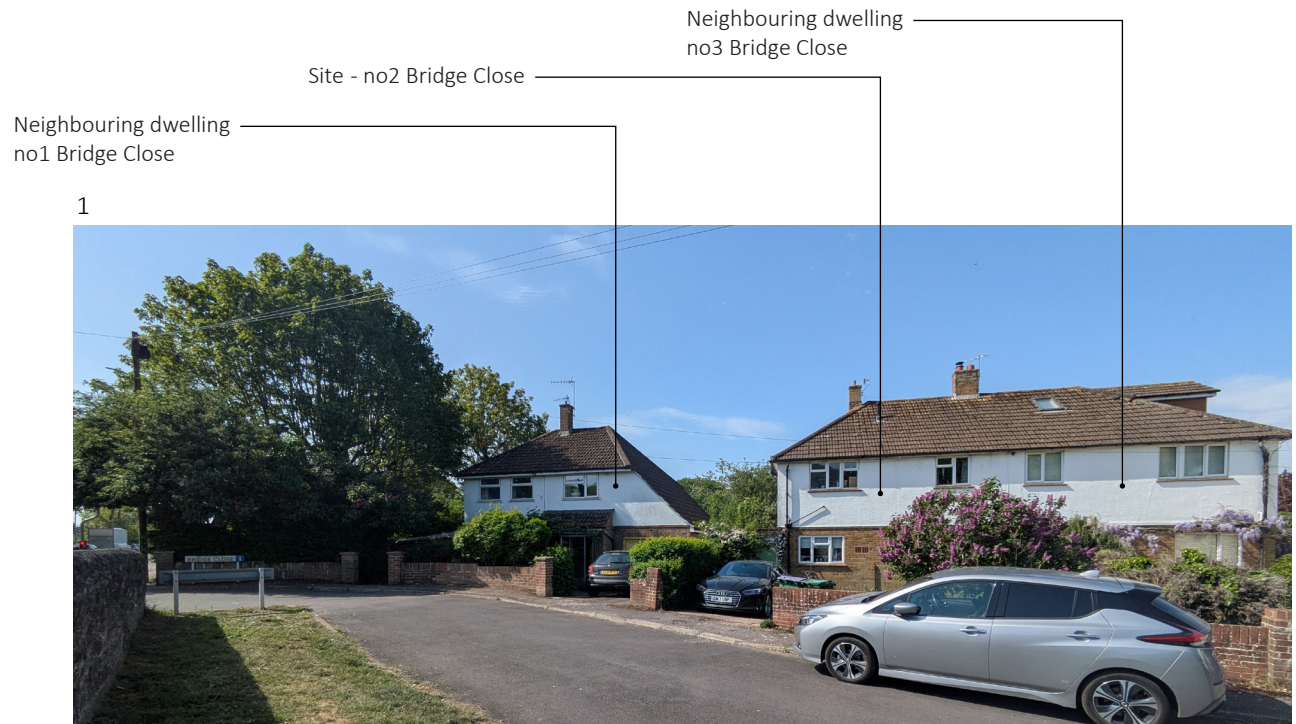


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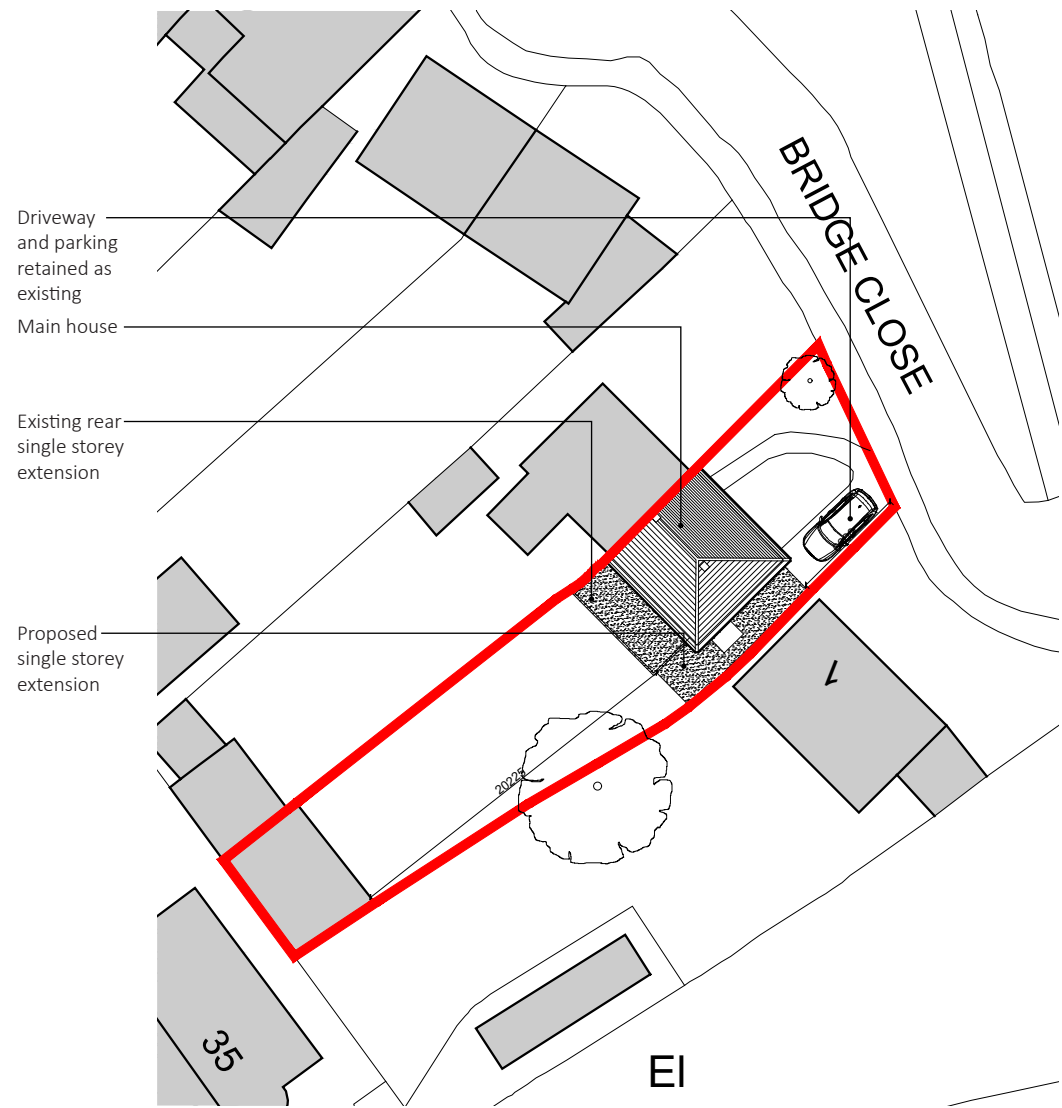
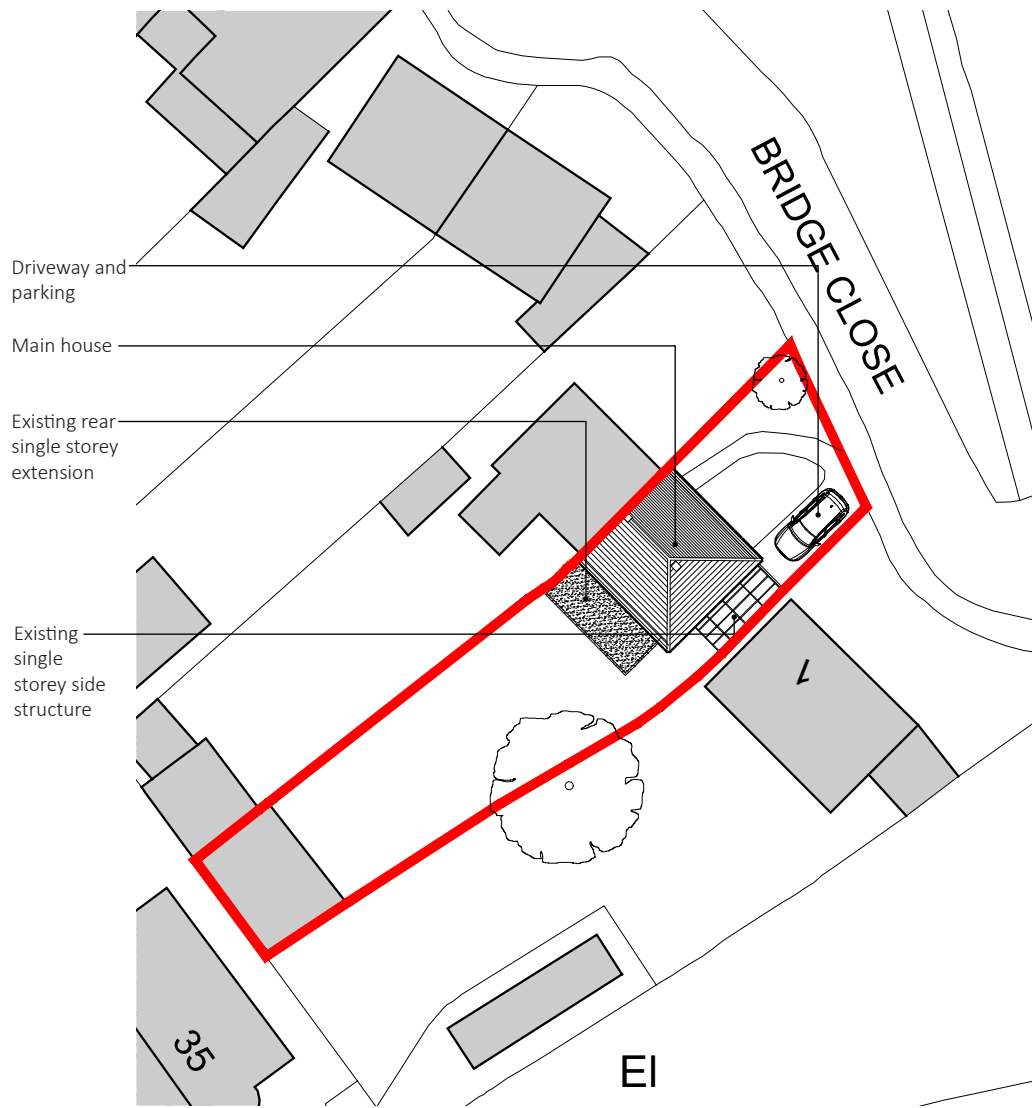


Existing Elevations

1 No 2 and No 1 Bridge Close
2 No 2 and No 3 Bridge Close and wider street context

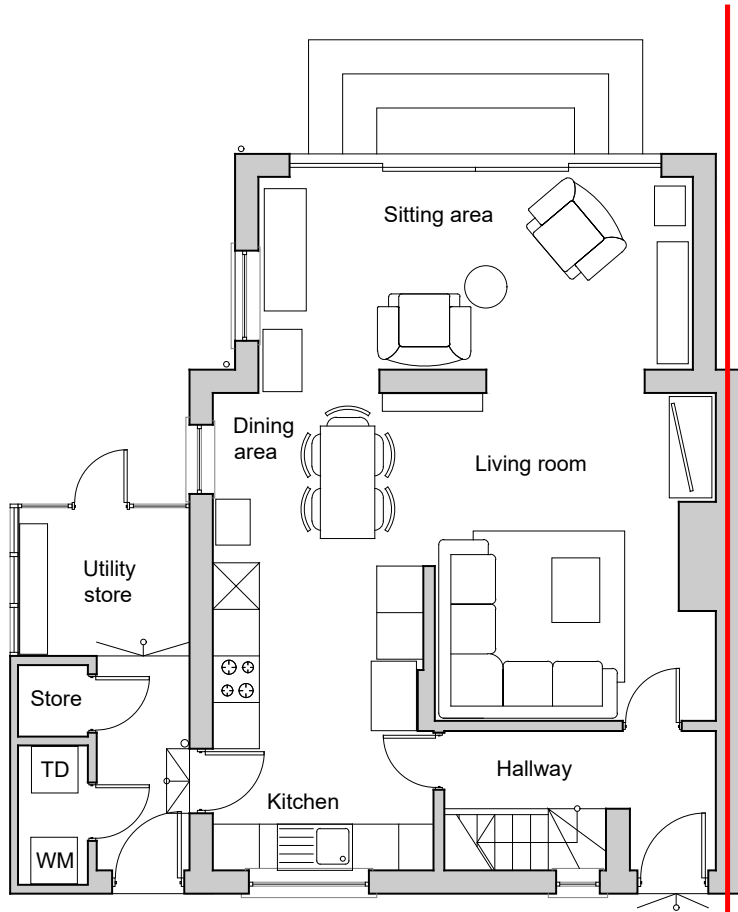


Surrounding Context

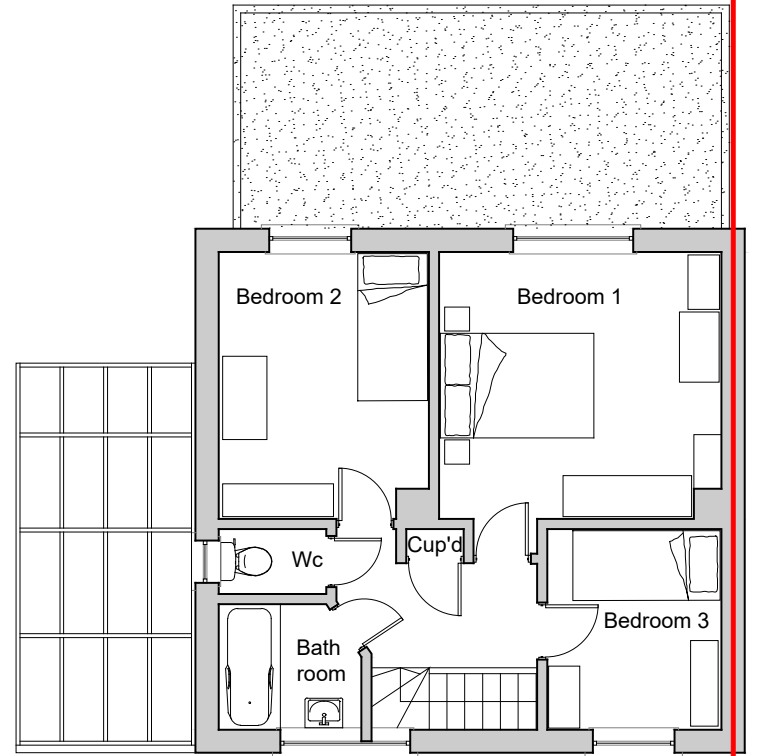


Existing and Proposed Site Plans nts



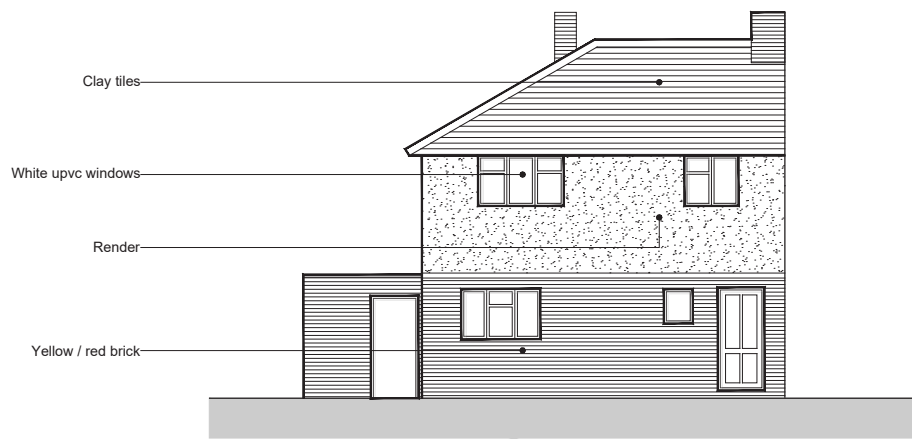


Existing Ground Floor Plan

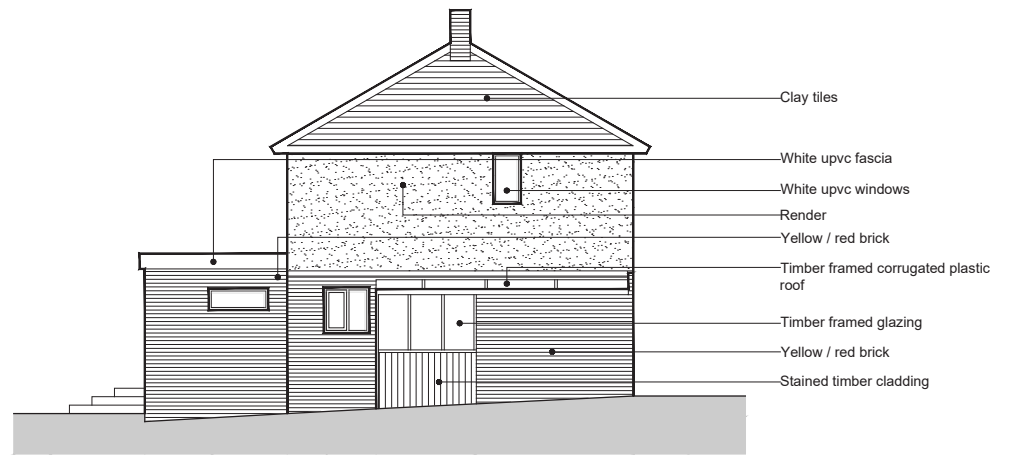


Existing First Floor Plan

Existing Plans nts



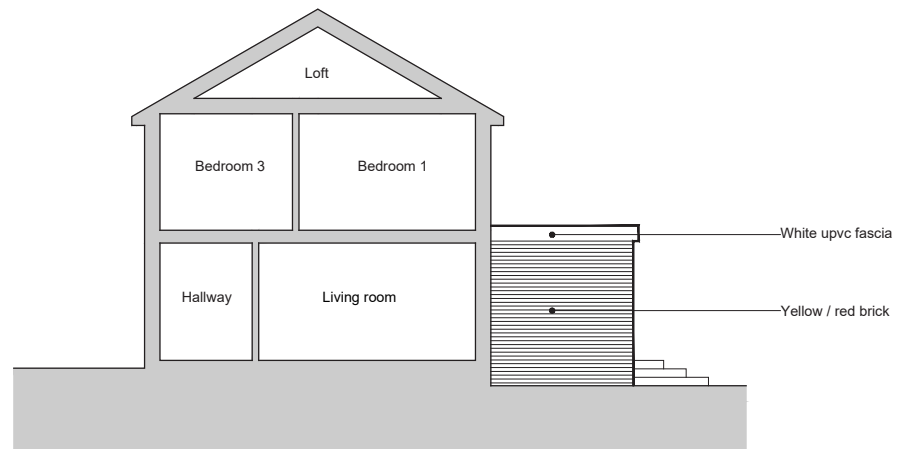
Existing Front Elevation (North)



Existing Side Elevation (East)

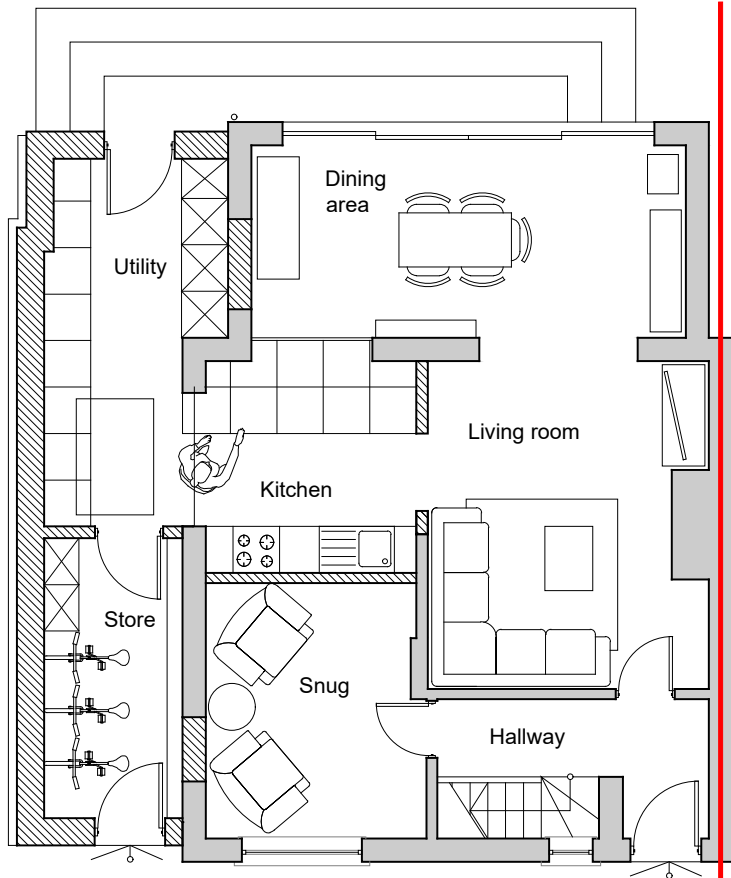


Existing Rear Elevation (South)

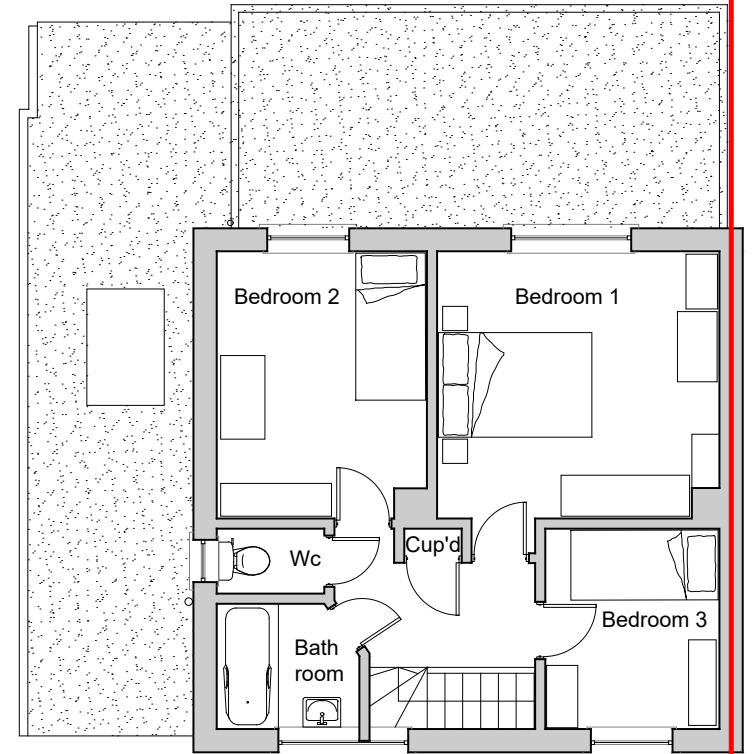


Existing Side Elevation (West)

Existing Elevations nts



Proposed Ground Floor Plan

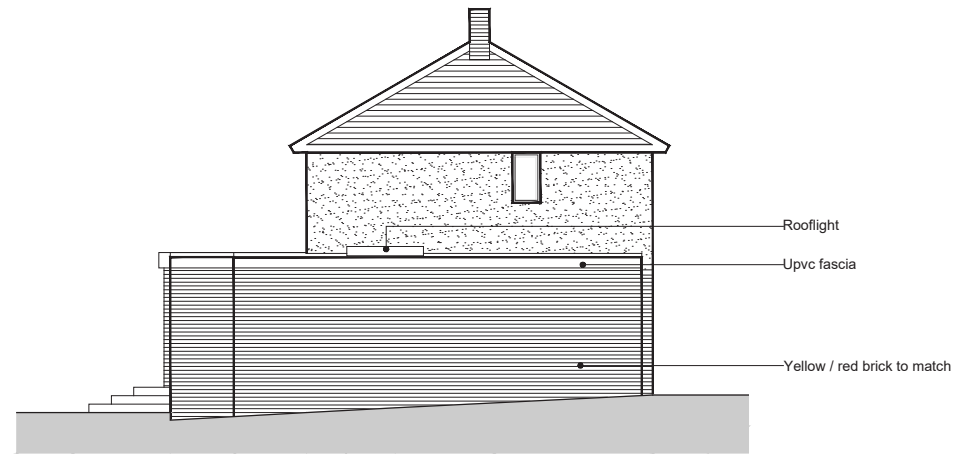


Proposed First Floor Plan

Proposed Plans nts



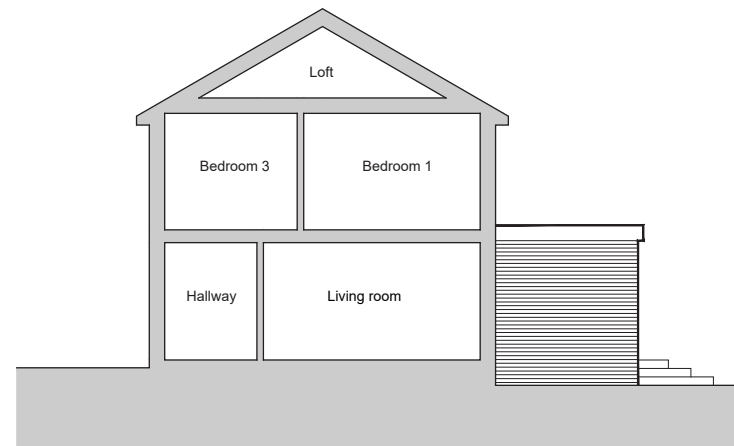
Proposed Front Elevation (North)



Proposed Side Elevation (East)



Proposed Rear Elevation (South)



Proposed Side Elevation (West)

Proposed Elevations

Use

The residential use of the dwelling remains as existing. The proposal is to extend the ground floor to the side, following the removal of the existing ground floor, single storey side structure. This will allow for remodelling of the ground floor to accommodate a snug, relocated kitchen, utility and store.

Amount

The existing GIFA of the ground floor is 107m²
The proposed GIFA of the ground floor is 114m²

Layout

The majority of the dwelling remains as existing.

By removing the existing side structure which is uninsulated and at a lower floor level to the main house, and replacing it with an insulated, masonry structure with a floor level to match the main house, the kitchen is relocated and extended into a utility area, a store is gained to the front of the extension, and a snug is created to the front area of the house. The utility room provides access to the rear garden, and also to the proposed store.

Scale

The extension replaces an existing single storey structure. The proposal is subservient to the main house - the proposed front facade is set back slightly from the original front elevation, and the eaves are lower than the main dwelling's eaves.

Appearance

The proposal reflects the aesthetic of the existing house and the wider street scene. The proportion of the extension is subservient to the main house as the proposed eaves are lower than the main roof, and the extension is less than the half the width of the original building.

Proposed materials will match the existing material palette - red / yellow brick to the ground floor, flat roof with white upvc fascia, and upvc doors.

Landscaping

The landscaping to the front and rear remains as existing with a small part of hardstanding removed to allow for the extension to the rear.

Access

Pedestrian and vehicular access to the site remain as existing. Cycles will be stored in the proposed store. Parking will remain as existing. Refuse and recycling storage and collection will remain as existing.

Use, Amount, Layout, Scale, Appearance, Landscaping and Access

Site address

2 Bridge Close, Hythe, Kent, CT21 4DD

Description of the development

Demolition of single storey side store, erection of single storey side extension, internal remodelling.

Flood zones

According to the FHDC Interactive Planning Map, and the Gov Flood Map For Planning Service, the site is within Flood Zone 3, and an Area of risk of fluvial / tidal flooding.

Proposal

The proposal is to remove a single storey store which is at a lower level than the main house, and to replace it with a side single storey extension which is to have a FFL to match the main house ground floor.

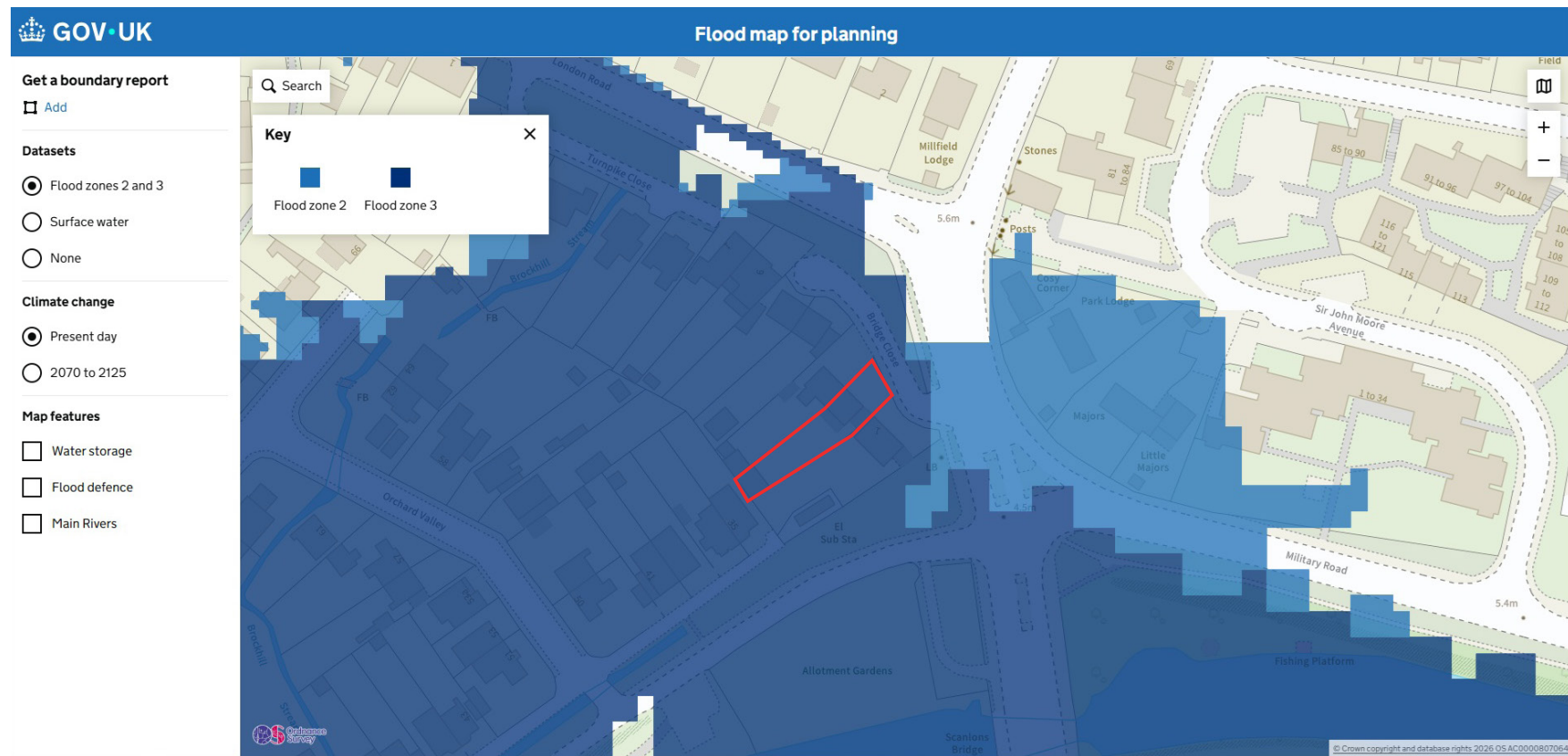


Image from flood-map-for-planning.service.gov.uk/map

Flood Risk Assessment

Flood resistance and resilience plans

The nature and scale of the proposal is a domestic extension at ground floor to extend the dwelling.

Surface water from the proposed roof is proposed to run to an existing soakaway in the rear garden, with rainwater harvesting via a water butt connected to a rainwater downpipe to collect additional run-off rainwater.

The water butt will connect to the rainwater downpipe. The harvested water will be used in gardening and washing cars etc. This will allow the residents to store rainwater on site for re-use thereby reducing the demand for mains water on site.

The floor level is proposed at the same level as the existing ground floor of the main house, an improvement on the existing floor level to the side extension which is 150mm lower than the main house.

In order to protect the property, additional measures are proposed as follows:

- Concrete ground floor to the extended area
- External walls to be constructed of masonry
- Watertight windows and doors
- Non-return valves
- Water-butt to collect run-off rainwater

The proposed ground floor extension has been considered in respect of the flood zones. As the proposal extends the existing ground floor, the proposed floor level will match the existing floor level of the main house. This is an improvement to the existing side structure where the floor level is lower than the main house. Together with the nature of the domestic extension and the proposed flood resistance measures, this results in an appropriate development for this area.

Flood Risk Assessment

The proposal is a carefully considered ground floor, single storey extension.

The proposed extension replaces an uninsulated side structure at a lower level to the main house, with an insulated, masonry structure with an FFL to match the main house, therefore allowing the ground floor to extend to this area to provide a remodelled kitchen, new utility room and secure front store. This also enables the front area of the ground floor to be remodelled to a snug sitting area.

The relationship between the application property and the neighbouring properties will stay substantially the same as the current arrangement. The proposal will not have an unacceptable impact on the occupiers of the neighbouring properties in terms of overshadowing, loss of light or loss of privacy, and will not appear overbearing in scale.

The proposal respects the character and context of the site. The scale, form and materiality of the extension take reference from the original dwelling. The eaves are lower than the main house eaves. The design preserves and enhances the character and appearance of the features of the building and of the surrounding area.

Summary

It should be noted that these are preliminary designs only and are subject to, but not limited to, the following:

- Structural design
- Mechanical and Electrical Design
- Full measured survey
- Confirmation of underground utilities
- The design is subject to Planning Permission and Building Regulations approval
- These drawings are not for construction use
- It is recommended that a Quantity Surveyor or local contractor reviews the feasibility designs in regard to potential costs

Earnshaw Architects

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